

Shire of Goomalling



COUNCIL MEETING AGENDA

July 2023





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14. MEETING CLOSURE

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NYOONGAR ACKNOWLEDGEMENT

We acknowledge this land that we meet on today is part of the traditional lands of the Nyoongar people and that we respect their spiritual relationship with their country. We also acknowledge the Nyoongar Ballardong people as the custodians of the greater Goomalling/Koomal area and that their cultural and heritage beliefs are still important to the living Nyoongar Ballardong people today.

NOTICE OF MEETING

Meeting No. 6 of 2023 of the Shire of Goomalling Council to be held in the Council Chambers, Administration Office, 32 Quinlan Street, Goomalling on Wednesday 19 July 2023 at **3.30pm**.

1. DECLARATION OF OPENING & ANNOUNCEMENT OF VISITORS

2. RECORD OF ATTENDANCE/APOLOGIES & APPROVED LEAVE OF ABSENCE

2.1. Attendance

Council	President	Cr Barry Haywood (via phone)
	Vice President	Cr Julie Chester
	Councillor	Cr Mark Ashton
	Councillor	Cr Christine Barratt
	Councillor	Cr Casey Butt
	Councillor	Cr Roland Van Gelderen
	Councillor	Cr Brendon Wilkes
Administration	Chief Executive Officer	Mr Peter Bentley
	Finance Manager	Miss Natalie Bird
	Works Manager	Mr David Long

2.2. Apologies

2.3. Approved Leave of Absence

3. DECLARATION OF:

- FINANCIAL INTEREST
- MEMBERS IMPARTIALITY INTEREST
- PROXIMITY INTEREST

4. PUBLIC QUESTION TIME

5. APPLICATION FROM MEMBERS FOR LEAVE OF ABSENCE

6. CONFIRMATION AND RECEIVING OF MINUTES & BUSINESS ARISING

6.1 Ordinary Meeting of Council held Wednesday 21 June 2023

7. ANNOUNCEMENTS BY THE PRESIDING PERSON WITHOUT DISCUSSION

8. PETITIONS/DEPUTATIONS/PRESENTATIONS/SUBMISSIONS



9. OFFICERS' REPORTS

9.1 PIONEERS' PATHWAY – EXTENSION TO MOU

File Reference:	
Disclosure of Interest:	Nil
Applicant:	Shire of Goomalling, Shire of Toodyay, Shire of Dowerin, Shire of Wyalkatchem, Shire of Nungarin and Shire of Merredin
Previous Item Numbers:	
Date:	10 July 2023
Author:	Tahnee Bird, Community Development Officer
Authorising Officer:	Peter Bentley – Chief Executive Officer
Attachments	1. Pioneers' Pathway MOU 2. Pioneers' Pathway Minutes 8 June 2023

In Summary

To consider extension to Pioneers' Pathway Memorandum of Understanding until 30 June 2024 between the Shire's of Toodyay, Goomalling, Dowerin, Wyalkatchem, Nungarin and Merredin for the purpose of collaborative marketing of the region; and

Extension of Contract Executive Officer, Linda Vernon for a further 12 months until 30 June 2024.

Background

Pioneers Pathway was established in the late 1990s as a Shire of Goomalling subcommittee and comprised of seven member Council' who shared a common interest in promoting tourism in the region. Shire of Trayning withdrew in 2020.

Objectives of group

- Pioneers Pathway is an independent advisory body for the member Councils served by Pioneers' Pathway self-drive trail.
- To maximize the economic return from the visitor economy through the Pioneers' Pathway Self Drive trail.
- To implement the strategic plan and marketing plans for Pioneers' Pathway drive trail.

Collaborative marketing enables smaller Council's to maximise reach by stretching money further as well as being able to attract external funding due to the collaborative nature of the initiative. Pioneers Pathway Group has attracted funding from Lotterywest, Building Better Regions Fund (BBRF) and Regional Arts WA to strengthen our tourism product including:

- StoryTowns Podcast (funded by Regional Arts WA) (\$10,000)
- Pioneers Pathway Interpretative Project (funded by Lotterywest & BBRF) (\$140,000~)



Consultation

Pioneers Pathway Advisory Group

Policy

Nil

Statutory Environment

- Local Government Act (1995)

Financial Implications

\$3500 annual contribution for marketing and EO

Strategic Implications

Shire of Goomalling Community Strategic Plan 2019-2028

2.2 Facilitate the development of local and regional tourism

- 2.2.1 Advocate, promote and market the Shire as a place to live, work and visit
- 2.2.3 Facilitate the development of tourism activities associated with the shire's diverse natural, social and built heritage.
- 2.2.5 Develop partnerships that actively support visitor growth
- 2.2.6 Provide relevant tourist information and marketing services

Comment/Conclusion

- Shire of Goomalling also contribute to Avon Tourism promotion (x Destination Perth) \$8000 annually including \$1000 DP membership fee, \$5000 marketing, \$1000 caravan and camping, \$1000 brochure re-print.
- The value of collaborative marketing cannot be overstated. With Council's \$11,500 investment we achieve a \$61,000 collective investment across the two regions marketing our community through two Regional Tourism Organisation including Australia's Golden Outback (PP) and Destination Perth (Avon).

Voting Requirement

Simple Majority

OFFICERS' RECOMMENDATION

That the Council:

- a) Received the minutes from Pioneers' Pathway Advisory Committee Meeting held on Thursday 8 June 2023.
- b) That member Councils be asked to extend the existing Pioneers' Pathway MoU for an additional 12 months (30 June 2024) at a financial contribution of \$3,500 per member Council, with in this the period the Advisory Group to meet regularly to form options to present to member Councils by February 2024.
- c) The Shire of Trayning and Shire of Victoria Plains be invited to participate in discussions with the Advisory Group in 2023-2024.
- d) That the 2023-2024 Marketing budget be like the 2022-2023 with the inclusion of developing a Pioneers' Pathway brochure and small print run of the brochure.
- e) Linda Vernon's contract as the Executive Officer to be extended to 30 June 2024.



PIONEERS' PATHWAY

MEMORANDUM OF UNDERSTANDING 2020-2023

For: **Pioneers' Pathway Self Drive Trail**

Between: **SHIRE OF DOWERIN**
SHIRE OF GOOMALLING
SHIRE OF MERREDIN
SHIRE OF NUNGARIN
SHIRE OF TOODYAY
SHIRE OF WYALKATCHEM

1. Parties to the Agreement

This document represents an agreement between the following parties (to be known as Member Councils):

- **SHIRE OF DOWERIN**
- **SHIRE OF GOOMALLING**
- **SHIRE OF MERREDIN**
- **SHIRE OF NUNGARIN**
- **SHIRE OF TOODYAY**
- **SHIRE OF WYALKATCHEM**

2. Preamble

- 2.1 Memorandums of Understanding (MOUs) covering the periods 1 July 2020 – 30 June 2023, in place to provide funding to continue to collaboratively develop historical tourism in the region through the development, promotion and marketing of the Pioneers' Pathway Self Drive Trail from Perth to Merredin reminiscing the path of the Pioneers' during the gold rush in the eastern goldfields and the development of agriculture and communities in the region.
- 2.2 The Pioneers' Pathway Advisory Group was established in the late 1990s as a Shire of Goomalling Council Sub-Committee and comprises of the seven Member Councils who share a common interest in the Pioneers' Pathway and regional boundaries.
- 2.3 The Shire of Trayning was a stakeholder and member of the Pioneers' Pathway Advisory Group up until 30 June 2020, where by they made the decision to not continue its membership with the reason that " Council is of the view that given our size and tourism product, our commitment to NEWTRAVEL alone represents a significant investment for our ratepayers." The Pioneers' Pathway Advisory Group have asked them to remove all current Pioneers' Pathway signage located within the Shire of Trayning (various roadside markers and signs in Information Bay) and that the Shire of Trayning would not receive reimbursement/refund on any of its contribution into the Pioneers' Pathway Development fund held by the Shire of Goomalling. They will no longer be included in product development and marketing activities.
- 2.4 The Parties to this MOU acknowledge the strategic context within which this MOU is signed, that being the current Pioneers' Pathway Strategic Plan 2019 – 2021 and the outcomes this Strategic Plan (and future Strategic Plans) has identified for the Pioneers' Pathway Self Drive Trail for product development and marketing and this MOU purpose is to address how we govern to achieve this.
- 2.5 This MOU may be renegotiated or renewed by further agreement between the parties to this MOU.
- 2.6 The Parties to this MOU have recorded their understandings and obligations and as signatories to this document agree to the following as outlined in this document.

3. PIONEERS' PATHWAY ADVISORY GROUP

3.1 Objectives of Pioneers' Pathway Advisory Group

- a. To be the independent advisory body for the Member Councils served by the Pioneers' Pathway Self Drive Trail.
- b. To maximise the economic return from the visitor economy through promoting and developing the tourism industry of the region through the Pioneers' Pathway Self Drive Trail.
- c. To implement the Strategic Plans and Marketing Plans for the Pioneers' Pathway Drive Trail.

3.2 Pioneers' Pathway Advisory Group Role

- a. The role of the Pioneers' Pathway Advisory Group for the duration of this MOU will be to:
 - i. Develop and oversee the delivery of the 2019 – 2021 Strategic Plan (and following ones) for the Pioneers' Pathway.
 - ii. Develop and oversee the delivery of the yearly Activity and Marketing Plan for the Pioneers' Pathway.
 - iii. Ensure industry relationships are nurtured and developed through communication channels, activities, events, professional development and other appropriate mechanisms.
 - iv. Ensure regular and formal communication with key stakeholders including Member Councils, Regional Tourism Organisations, Local Tourism Associations, peak industry bodies and relevant government agencies
 - v. Develop and coordinate policy and mechanisms to provide a consistent approach and application to historical tourism activities across the region.
 - vi. Provide Council and key stakeholders with statistical reports relating to tourism performance in the region.
 - vii. Work with other Local and Regional Tourism Organisations to identify and engage in opportunities of benefit to tourism in the region.
 - viii. Source, wherever possible, additional funding through industry and funding bodies to support the continued development of projects along the Pioneers' Pathway Self Drive Trail (as identified).
 - ix. The Pioneers' Pathway Advisory Group will have a nominated Chairperson who will be elected annually from the Member Councils delegates.
 - x. Role of the Chairperson is to establish, facilitate and support effective Advisory Group outcomes and ensure good governance
 - xi. The Pioneers' Pathway Advisory Group has the authority to engage personnel to assist with record keeping, sourcing and apply for external funding, project management, reporting and marketing activities as identified.

4. SHIRE OF GOOMALLING

4.1 Objectives of Shire of Goomalling

- a. To be the lead agency for the Pioneers' Pathway Self Drive Trail.
- b. To be responsible for the financial reporting requirements as outlined in the MOU.

4.2 Shire of Goomalling Role

- a. The role of the Shire of Goomalling for the duration of this MOU will be to:
 - i. Oversee the overall governance, planning and coordination of the Pioneers' Pathway Advisory Group.
 - ii. Management of a trust account for the sole purpose of the Pioneers' Pathway Self Drive Trail and all income and expenditure related to it.
 - iii. Reviewing and balancing the collective funding budget – income and expenditure statements will be provided to the Advisory Group on request.
 - iv. Financial record keeping for the purposes of the reporting as required.
 - v. Overall financial acquittals and auditing as required for the external funding bodies.
 - vi. Processing financial claims from Member Councils and partner organisations as required.

5. MEMBER COUNCILS

5.1 Objectives of Member Councils

- a. To have an effective independent body for the Member Councils that works collectively and must maximise the impact of its marketing resources (time, money and relationships) to better promote the Pioneers' Pathway Self Drive Trail.
- b. To have the Pioneers' Pathway Advisory Group deliver specific strategic functions for the Pioneers' Pathway Self Drive Trail including:
 - marketing
 - development
 - industry
 - product
 - skills
 - investment
 - engagement
 - advocacy

5.2 Member Council Role

- a. The role of each Member Council for the duration of this MOU will be to:
 - i. Acknowledge the role of Pioneers' Pathway Advisory Group and actively promote

the Pioneers' Pathway Self Drive Trail and assets via council collateral.

- ii. Undertake or support the day to day management of the Pioneers' Pathway Self Drive Trail (product development and maintenance) in their respective local government.
- iii. Annually nominate a Council (Councillor or Staff member) delegate to be a member of the Pioneers' Pathway Advisory Group.
- iv. Annually nominate a Community representative (optional) to be a member of the Pioneers' Pathway Advisory Group.
- v. Work cooperatively with Pioneers' Pathway Advisory Group on agreed projects, activities and standards in line with the 2019-2021 Strategic Plan and future plans.
- vi. Ensure regular communication, both formal and informal, is maintained with the Pioneers' Pathway Advisory Group on matters of joint interest.
- vii. Support the involvement of relevant Council staff in appropriate Pioneers' Pathway Advisory Group activities.
- viii. Recognise and promote Pioneers' Pathway Self Drive Trail through Council distribution channels as appropriate.
- ix. Provide a summary of relevant data and statistics from your respective community as required.
- x. Deliver and coordinate tourism functions at a council level including the management of signage, events, applications, compliance and associated activities.
- xi. Work with entities as represented by (but not limited to) Local Tourism Associations, Chambers of Commerce, special interest groups and industry associations to develop tourism at a local level.

6. Communication between Parties

- 6.1 All parties recognise the importance of regular communication – both formal and informal to the success of tourism in the region and commit to open and regular dialogue.
- 6.2 Pioneers' Pathway Advisory Group will:
 - i. report to Member Councils on an annual basis on progress against key performance indicators.
 - ii. attend Council meetings or briefings to discuss or present on tourism related issues if requested.
 - iii. circulate draft minutes of Advisory Group meetings to Member Council delegates in a timely manner.
 - iv. communicate with delegates, Member Councils and relevant staff via regular electronic communication.
 - v. raise directly with member Councils any issues, concerns, queries or questions it may have in relation to activities, function, performance or obligations under this MOU.

- 6.3 Member Councils will:
- i. Have delegates attend all meetings and if necessary, nominate a proxy.
 - ii. ensure that Pioneers' Pathway Advisory Group is briefed on, and kept informed of, tourism matters that have regional significance as and when appropriate.
 - iii. provide opportunities for Pioneers' Pathway Advisory Group to brief or present to Councillors as and when deemed necessary.
 - iv. recognise and promote Pioneers' Pathway Self Drive Trail through Council distribution channels as appropriate.
 - v. raise directly with Pioneers' Pathway Advisory Group any issues, concerns, queries or questions it may have in relation to its activities, function, performance or obligations under this MOU.

7. Key Performance Indicators

- 7.1 The key performance indicators that Pioneers' Pathway Advisory Group will aim to achieve for the life of the MOU will be subject to negotiation between the Group and Member Councils on an annual basis. The Key Performance Indicators will be detailed annually in Schedule A of this MOU.
- 7.2 Continued investment for years two and three of the MOU will be subject to agreement between Member Councils and Pioneers' Pathway Advisory Group that satisfactory progress has been made against the key performance indicators, detailed in Schedule A of this MOU.

8. Member Council Investment

- 8.1 The agreed level of investment from Member Councils (exclusive of GST) is contained in Schedule B of this MOU.
- 8.2. By signing this MOU, Member Councils acknowledge that they are committing to expenditure in future budgets, for the life of the MOU, providing Pioneers' Pathway Advisory Group delivers on the key performance indicators as detailed in Schedule A to the satisfaction of Member Councils.
- 8.3. Annual payments are to be made following the receipt of a tax invoice from Shire of Goomalling.
- 8.4. The In-kind support from Member Councils is contained in Schedule C of this MOU. Nothing in Schedule C reduces the Member Council contributions as outlined in Schedule B of this MOU.

9. Dispute Resolution

- 9.1 If any dispute arises between the parties carrying out the principles of this Memorandum of Understanding, the parties will seek genuine resolution to solve the difference or dispute between them.
- 9.2 Any disputes arising from this MOU will be first referred to a Special Meeting of the Pioneers' Pathway Advisory Group who will convene and manage this process unless it is deemed to be a party to the dispute or otherwise decline to participate, an external independent mediator will oversee the process.

10. Parties Agree to be Bound

- 10.1 It is the intention that this MOU be binding on the parties without the right of withdrawal from the agreement except where there is fundamental breach of any term or condition of this MOU or where there is a fundamental material change in the strategic context within which Pioneers' Pathway Advisory Group operates.
- 10.2 If a member Council decides to withdraw from this MOU before the end of the Term, then 12 months' notice is to be provided to the Pioneers' Pathway Advisory Group and the member Council will forfeit all financial investment contributed to date.
- 10.3 In the case of a dispute, all parties agree that they will not withdraw from this MOU until such time as the prescribed dispute resolution process has been employed and it has been established that a fundamental breach has occurred and that this fundamental breach cannot be remedied to the satisfaction of the parties in dispute.

11.0 Terms of MOU

- 11.1 This Memorandum of Understanding lapses on 30 June 2023.
 - a. Negotiations to renew the extension of the MOU with Member Councils for a further period beyond this MOU must be commenced by 31 December 2022 and must be completed by 31 March 2023.
- 11.2 Each party maintains the right to exercise its individual powers as it sees fit.


The parties to this Memorandum of Understanding are:

SHIRE OF DOWERIN

Chief Executive Officer

Rebecca McCall

PRINT FULL NAME OF AUTHORISED PERSON



SIGNATURE

President

DARREL HUDSON

PRINT FULL NAME OF AUTHORISED PERSON



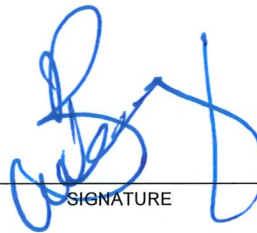
SIGNATURE

SHIRE OF GOOMALLILNG

Chief Executive Officer

Peter Bentley
Chief Executive Officer
Shire of Goomalling

PRINT FULL NAME OF AUTHORISED PERSON



SIGNATURE

President

Barry John Haywood

PRINT FULL NAME OF AUTHORISED PERSON



SIGNATURE

SHIRE OF MERREDIN

Chief Executive Officer

MARK DACOMBZ

PRINT FULL NAME OF AUTHORISED PERSON



SIGNATURE

President

JULIERAE FLOCKART

PRINT FULL NAME OF AUTHORISED PERSON



SIGNATURE

SHIRE OF NUNGARIN

Chief Executive Officer

ADAM LUKE MATID

PRINT FULL NAME OF AUTHORISED PERSON

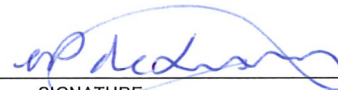


SIGNATURE

President

PIPPA LEE DE LACY

PRINT FULL NAME OF AUTHORISED PERSON

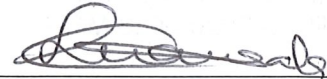


SIGNATURE

SHIRE OF TOODYAY

**Chief Executive
Officer**

CHILEYA LIANGALA



PRINT FULL NAME OF AUTHORISED PERSON

SIGNATURE

President

R. Madács

ROSEMARY MADÁCSI

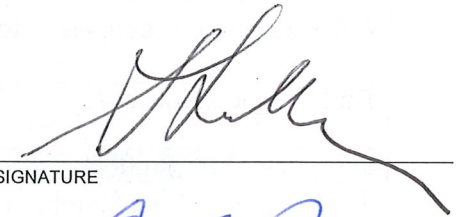
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SHIRE OF WYALKATCHEM

Acting
**Chief Executive
Officer**

STEPHEN DAVID TINDALE




PRINT FULL NAME OF AUTHORISED PERSON

SIGNATURE

President

QUENTIN ROSS DAVIES



PRINT FULL NAME OF AUTHORISED PERSON

SIGNATURE

SCHEDULE A: 2020-2021 Performance Indicators

Pioneers' Pathway Advisory Group has identified several strategic areas of priority for the life of 2020-2023 MOU:

- Developing Our Product
- Marketing Our Product
- Governing Our Organisation

The strategic priority areas will be reviewed annually, in accordance with the 2019-2021 Strategic Plan. Subsequent key performance indicators will be developed for incorporation into Schedule A on an annual basis.

The 2020-2021 tactics for delivery and key performance indicators, against the 2019-2021 Strategic Areas, are listed below.

Performance Indicator	
Developing Our Product	
1.	<ul style="list-style-type: none"> • Each Member Council has one story successfully implemented.
2.	<ul style="list-style-type: none"> • A second story concept for each Member Council is identified (potential workshop in October 2020 TBC)
3.	<ul style="list-style-type: none"> • Mechanisms for data collection are identified and begun to be implemented to measure the impact of the Pioneers' Pathway Self Drive Trail on tourism in the region.
Marketing Our Product	
4.	<ul style="list-style-type: none"> • Annual Marketing Plan is implemented.
5.	<ul style="list-style-type: none"> • Pioneers' Pathway Website is updated and current.
6.	<ul style="list-style-type: none"> • Pioneers' Pathway is active on Social Media (Facebook and Instagram).
Governing Our Organisation	
7.	<ul style="list-style-type: none"> • Agendas and Minutes are prepared in a timely manner.
8.	<ul style="list-style-type: none"> • Financial reporting is current and accurate.
9.	<ul style="list-style-type: none"> • Attendance by all Member Council delegates to Advisory Group meetings.

SCHEDULE B: Member Council Investment

The annual investment by Member Councils for the life of this MOU is set out below. It is noted that all amounts are exclusive of GST.

Financial commitment of \$3,500 per annum is requested. \$1,500 per annum for Pioneers' Pathway Self Drive Trail Development and Marketing, \$2,000 per annum for the employment/engagement of personnel to assist the Pioneers' Pathway Advisory Group. The final break down of this is at the discretion of the Pioneers' Pathway Advisory Group.

Annual Investment	2020-2021	2021-2022	2022-2023	Total
SHIRE OF DOWERIN	\$3,500.00	\$3,500.00	\$3,500.00	\$10,500.00
SHIRE OF GOOMALLING	\$3,500.00	\$3,500.00	\$3,500.00	\$10,500.00
SHIRE OF MERREDIN	\$3,500.00	\$3,500.00	\$3,500.00	\$10,500.00
SHIRE OF NUNGARIN	\$3,500.00	\$3,500.00	\$3,500.00	\$10,500.00
SHIRE OF TOODYAY	\$3,500.00	\$3,500.00	\$3,500.00	\$10,500.00
SHIRE OF WYALKATCHEM	\$3,500.00	\$3,500.00	\$3,500.00	\$10,500.00
Total	\$21,000.00	\$21,000.00	\$21,000.00	\$63,000.00

SCHEDULE C: IN KIND SUPPORT

The in-kind support to be provided by Member Councils for the life of the MOU is set out below.

Nothing in this Schedule prevents Member Councils providing additional in-kind support to Pioneers' Pathway Advisory Group over the life of the MOU. Nothing in this Schedule prevents Pioneers' Pathway Advisory Group making a request for additional in-kind support over the life of the MOU. Such a request can be accepted or rejected by Member Councils.

<p>SHIRE OF DOWERIN SHIRE OF MERREDIN SHIRE OF NUNGARIN SHIRE OF TOODYAY SHIRE OF WYALKATCHEM</p>	<ul style="list-style-type: none">• Meeting space and catering including but not limited to Council facilities as available and required.• Support for the delivery of key activities through communication channels, utilising existing staffing personnel skills, participation in working groups and other appropriate activities.• Assistance with staffing regional tourism promotions if required.
<p>SHIRE OF GOOMALLING</p>	<ul style="list-style-type: none">• Financial record keeping support to the Pioneers' Pathway Advisory Group.• Meeting space and catering including but not limited to Council facilities as available and required.• Support for the delivery of key activities through communication channels, utilising existing staffing personnel skills, participation in working groups and other appropriate activities.• Assistance with staffing regional tourism promotions if required.

SCHEDULE D: TERMS OF REFERENCE, PIONEERS' PATHWAY ADVISORY GROUP MEMBER COUNCIL DELEGATE

1. The membership of the Pioneers' Pathway Advisory group will commit to:
 - Attending all scheduled Advisory Group meetings, and if necessary, nominate a proxy.
 - Wholeheartedly championing the Advisory Group within and outside of work areas.
 - Sharing all communications and information across all Advisory Group members.
 - Making timely decisions and undertaking required actions so as to not hold up the implementation of activities.
 - Only making financial decisions on behalf of Member Councils in relation to the agreed Member Council Investment (Schedule B).
 - Any financial decisions that exceed or are beyond the scope of the Member Council Investment are to be taken back to the Member Council/s before proceeding.
 - Notifying members of the Advisory Group, as soon as practical, if any matter arises which may be deemed to affect the development of the Network.

2. Members of the Advisory Group will expect:
 - That each member will be provided with complete, accurate and meaningful information in a timely manner.
 - To be given reasonable time to make key decisions.
 - To be alerted to potential risks and issues that could impact the project, as they arise.
 - Open and honest discussions, without resort to any misleading assertions.

3. Meetings
 - All meetings will be chaired by the Pioneers' Pathway Advisory Group Chairperson (appointed annually).
 - A meeting quorum will be four (4) members of the Advisory Group.
 - Decisions made by consensus (i.e. members are satisfied with the decision even though it may not be their first choice). If not possible, Advisory Group Chair makes final decision.
 - Meeting agendas and minutes will be provided by an independent source (appointed by the Advisory Group) this includes:
 - preparing agendas and supporting papers.
 - preparing meeting notes and information.
 - Meetings will be held 3-4 times per year for 2 hours hosted on rotation by each Member Council.
 - If required sub-group meetings will be arranged outside of these times at a time convenient to sub-group members.



PIONEERS' PATHWAY

Advisory Committee meeting

Thursday 8th June 2023, 10.00am,
Online

MINUTES

1. ATTENDEES	2
2. APOLOGIES	2
3. FINANCIAL REPORT	3
4. MOU	3
5. Marketing Activities	5
6. AGO- Wheatbelt Tourism Destination Development	6
7. Other Business	6

1. ATTENDEES

Pioneers Pathway Executive Officer

Linda Vernon Pioneers' Pathway Executive Officer

Participating Council Delegates

Stephanie Elvidge	Governance Executive Officer	Shire of Wyalkatchem
Rebecca McCall	CEO	Shire of Dowerin
Kari Lee	CDO	Shire of Dowerin
Robyn McCarthy	Manager, CWVC	Shire of Merredin
Peter Bentley	Chief Executive Officer	Shire of Goomalling
Natalie Bird	Senior Finance Officer	Shire of Goomalling
Kimberley Hardie	Economic Development Officer	Shire of Toodyay
Michelle Duke	Visitor Centre Team Leader	Shire of Toodyay

Community stakeholders

2. APOLOGIES

Tahnee Bird Community Development Officer Shire of Goomalling

3. FINANCIAL REPORT

NB: these were not available at the time of the meeting.



Trust Balance as at 1 July 2022		\$ 38,147.95
		\$ 38,147.95
Income		
Shire of Toodyay	\$ 3,500.00	
Shire of Goomalling	\$ 3,500.00	
Shire of Dowerin	\$ 3,500.00	
Shire of Wyalkatchem	\$ 3,500.00	
Shire of Nungarin	\$ 3,500.00	
Shire of Merredin	\$ 3,500.00	
Interest	\$ 420.75	
		\$ 21,420.75
Expenditure		
Vernon contracting - (Juy 22 - May 23)	\$ 11,100.00	
Market Creations - Office 365 subscription	\$ 132.00	
Australia's Golden Outback - Shared costs for 2023 Perth Caravan and Camping Show	\$ 382.00	
Australia's Golden Outback - Collaborative marketing 2022-23	\$ 3,000.00	
Australian's Golden Outback - membership	\$ 168.18	
Aventris Social Media Services	\$ 2,665.00	
Shire of Merredin - Contribution to Eastern Wheatbelt visitors guide advertising	\$ 1,204.55	
Shire of Merredin - Costs of Distribution of Maps , brochures & Guides	\$ 29.50	
North Eastern Wheatbelt Travel Association inc - regional arts WA (Every Town has a story podcast proj)	\$ 10,000.00	
Vanguard Publishing - Advertising in AGO Holiday Planner	\$ 613.33	
		\$ 18,194.56
		\$ 11,100.00
		\$ 29,294.56
		Closing Balance @ 30 May 2023 \$ 30,274.14
EO Wages Trust		
Opening balance	\$ 12,938.14	
Plus Annual Contribution	\$ 12,420.70	
Less Expenses	\$ 11,100.00	
Closing Balance as at 30 May 2023	<u>\$ 14,258.84</u>	
Marketing & Development Trust		
Opening balance	\$ 25,209.86	
Plus Annual Contribution	\$ 9,000.00	
Less Expenses	\$ 18,194.56	
Closing Balance as at 30 May 2023	<u>\$ 16,015.30</u>	
		Closing balance Trust Funds @ 30 May 23 \$ 30,274.14

4. MOU

Background

The current MoU expires on 30 June 2023. View the current MoU [here](#).

Comment:

1. **Feedback and discussion from members about what they want to do.**
2. **What is the future? Status Quo?**
3. **Early indications from the Trayning CEO that they may wish to join the Pioneers' Pathway.**

Discussion Notes:

- Rebecca McCall:
 - proposed that member Councils be asked to extend the existing MoU for a further 12 months to allow the Advisory Group time to dedicate time to review and propose options for the future direction of the Pioneers' Pathway.
 - Noted that the Advisory Group should consider the AGO Strategic Pillars in the Pioneers' Pathway future direction.
- Robyn McCarthy:
 - asked that the Advisory Group meet more frequently (quarterly) and provide input.
 - Will the Shire of Goomalling invoice member Councils as per usual (yes).
- Kimberley Hardie:
 - asked that as they are new staff at the Shire of Toodyay, can an update be provided on the aim, direction and how to awaken the Pioneers' Pathway.
 - Supported more frequent meetings.
 - Access to information and social media resources so that individual members can take on some of the responsibility of marketing.
 - Opportunity for other Councils to be involved in the Pioneers' Pathway – the Shire of Victoria Plains has expressed interest.

Has everyone already included the normal Pioneers' Pathway subscription fees of \$3,500.00 in the 2023-2024 Council Budgets?

Yes – Merredin, Dowerin, Goomalling, Wyalkatchem

Need to check – Toodyay and Nungarin

Recommendation:

- a. That member Councils be asked to extend the existing Pioneers' Pathway MoU for an additional 12 months (30 June 2024), at a financial contribution of \$3,500 per member Council, with in this the period the Advisory Group to meet regularly to form options to present to member Councils by February 2024.
- b. The Shire of Trayning and Shire of Victoria Plains be invited to participate in discussions with the Advisory Group in 2023-2024.

5. Marketing Activities

Background

Annual allocation and budget of \$1,500 per stakeholder per annum with a total marketing budget of \$9,000.00.

Marketing Budget 2022-2023

Activity	Description	Expense	Total Activity Cost
1. Annual Tourism Association Memberships	Australia's Golden Outback	\$150.00	\$437.00
	Central Wheatbelt Visitor Centre Membership	\$187.00	
	Toodyay Visitor Centre Membership	\$100.00	
2. Advertising	AGO Advertising – Co-operative Advertising in 2023	\$1,500.00	\$4,500.00
	Regional Tourism Association Initiatives	\$3,000.00	
3. Content	Content Creation for Social Media	\$3,000.00	\$3,000.00
4. Consumer Shows	Perth Caravan & Camping Show 2023	\$300.00	\$300.00
5. Website	Website Maintenance	\$500.00	\$500.00
	Annual Website Hosting Fee	\$400.00	
	Domain Name Renewal	\$100.00	
		TOTAL	\$9,237.00
Pioneers Pathway Executive Officer @ \$1000/month		\$12,000.00	\$12,000.00
		TOTAL	\$21,237.00

Comment:

Context will be dependent on discussions about MoU and future.

For discussion for inclusion in 2023-24 Marketing:

[Brochure Quote](#) - \$682.00

[Website Quote](#) - \$6,980.00 +GST

Storytowns Podcast Marketing Package - \$2,090.00

Discussion Notes:

- The 2022-2023 Marketing Budget was reviewed and explained.
- Linda's view that there was limited ability to reduce marketing activity as the above was the basic bare minimum requirements.
- Robyn felt that the need for a brochure was a priority.
- Rebecca suggested dropping the CWVC and Toodyay Visitor Centre Membership to free up some funds.
- Discussed that if not the funds available in the trust account, then consider asking each member Council to increase their 2023-2024 contribution by \$500.

Recommendation:

- a. That the 2023-2024 Marketing budget be like the 2022-2023 with the inclusion of developing a Pioneers' Pathway brochure and small print run of the brochure.
- b. Linda Vernon's contract as the Executive Officer to be extended to 30 June 2024.

6. AGO- Wheatbelt Tourism Destination Development

Background

AGO have a strategy to undertake destination development activities as a part of their Strategic Plan. They have in the last 12 months employed Destination Development Officers in Kalgoorlie and Esperance in partnership with local governments.

Comment:

AGO are currently looking at how to facilitate tourism destination development in the Wheatbelt. A working group has been brainstorming what this may look like. Linda will provide a presentation and update.

Discussion Notes:

- The future of the Pioneers' Pathway needs to consider both marketing activities and destination development activities.
- Linda gave a short summary of the Wheatbelt Tourism Destination Development planning and activities over the last 6 months, in the context of Tourism WA and AGO Destination Development Strategy planning and the employment of Destination Development Offices.
- AGO are keen to pursue Destination Development activities as a part of their Strategy implementation.
- Overall the Wheatbelt Stakeholders are not supportive of a Destination Development Officer for the Wheatbelt, but instead would like to see the funds invested in project activities and outcomes.
- View the Wheatbelt Tourism Destination Development Concept [here](#).
- Linda will provide an update and further explanation at the next meeting.

7. Other Business

Rebecca McCall thanked member Councils; she has been pleased to be involved in the Pioneers' Pathway but will be moving on to take up a position of CEO at the Shire of Narembeen. She will remain in her Wheatbelt AGO Board member role at AGO and will continue to advocate for Wheatbelt tourism – please feel free to contact her at any time.

Linda extended thanks on behalf of the Advisory Group to Rebecca's for her contribution to the Pioneers' Pathway in both her roles at the Shire of Merredin and the Shire of Dowerin.

Meeting Close: 10.45am

NEXT MEETING: Tuesday 8th August 2023, 10am online (or possible to be in person depending on member availability).



9.2 LOCAL EMERGENCY MANAGEMENT COMMITTEE RECOMMENDATION

File Reference	
Disclosure of Interest	Nil
Applicant	Shire of Goomalling
Previous Item Numbers	No Direct
Date	26 June 2023
Author	Robert Koch – Community Emergency Services Manager
Authorising Officer	Peter Bentley – Chief Executive Officer
Attachments	Nil

Summary

The purpose of this report is for Council to consider a recommendation with respect to the Local Emergency Management Committee (LEMC) meeting held 14 June 2023. A recommendation was made regarding investigation of a back-up power generator for the Shire’s nominated evacuation facility (Goomalling Recreation Centre) as below.

LOCAL EMERGENCY MANAMGNET COMMITTEE RECOMMENDATION 1

That the Local Emergency Management Committee recommend to Council:

1. Recommend the Shire undertake project planning (including costing) of provisioning backup power to for key functions Goomalling Recreation Centre.

Moved: R Koch **Seconded:** B Hush

Background

The Shire of Goomalling is required to provide recovery duties under the *Emergency Management Act 2005*. Meeting these requirements includes provision/operation of evacuation facilities in an emergency. The Shire’s primary evacuation facility is identified as the Goomalling Recreation Centre in the *Shire of Goomalling Local Emergency Management Arrangements*. This facility, however, lacks power redundancy which could affect the facilities use or efficiency as a suitable evacuation centre.

Provision of a backup diesel generator for the facility may be eligible for grant funding (or partial grant funding), as evident of a neighbouring Shire recently securing 50% grant funding for an equivalent project. Grant funding opportunities may include Disaster Ready Funding (DRF), & Natural Disaster Risk Reduction (NDRR) programs.

Grant application timelines can limit the ability for due diligence in project scoping. Additionally the timing applications may not align with Shire budgetary processes.



In making the recommendation, the committee advocates for project planning (scoping, design, costing) to enable budgetary allowances and 'shovel ready' project which can leverage grant opportunities.

Consultation

Local Emergency Management Committee.

Statutory Environment

Emergency Management Act 2005

Policy Implications

Nil

Financial Implications

This report does not commit Council to provisioning of backup power to the Goomalling Recreation Centre, therefore there are no financial implications associated with the recommendation in this report.

Should however, the scoping/planning activities sought by this recommendation, progress to provisioning in the future, there would likely be financial component to the Shire at that time.

Strategic Implications

Shire of Goomalling Community Strategic Plan 2019-2028	
1.4.3	Support provision of emergency services
1.4.4	Encourage, facilitate and support community participation in the volunteer fire, ambulance and emergency services
1.4.6	Provide community services to uphold public safety standards

Comment/Conclusion

The Officer notes that while provisioning of backup power to the Shire's Recreation Centre assists the Shire in its responsibilities of the Emergency Management Act 2005, the Act does not specifically require the Shire to provision power redundancy at evacuation centres.

While this report focuses on an emergency management justification, eventual provisioning of backup power to the Goomalling Recreation Centre would have a 'peace time' benefit to the operators and users of the centre on an ongoing basis.

The Officer supports the committee's recommendation.

Voting Requirements

Simple Majority



LOCAL EMERGENCY MANAGEMENT COMMITTEE RECOMMENDATION 1

That the Local Emergency Management Committee recommend to Council:

1. Recommend the Shire undertake project planning (including costing) of provisioning backup power to for key functions Goomalling Recreation Centre.



9.3 QUINLAN STREET CLOSURE

File Reference:	
Disclosure of Interest:	Nil
Applicant:	Shire of Goomalling
Previous Item Numbers:	Nil
Date:	12 July 2023
Author:	Peter Bentley – Chief Executive Officer
Authorising Officer:	Peter Bentley – Chief Executive Officer
Attachments	

In Summary

To consider public comment and submissions regarding the closure of Quinlan Street.

Background

In 2018 Council adopted the Goomalling Recreation Masterplan which was a document developed by the community with regard to the future development of the recreation precinct and with plans to redevelop the hall and surrounding areas. The Masterplan was a method of community input into the future development of these facilities and was facilitated by AECOM.

Council, as part of the CEO's performance review for the 2022 year, set a KPI to commence the process for the closure of Quinlan Street. As part of the process, the CEO has sought any further public comment with regard to the closure and there have been a number of submissions.

A petition was circulated for many weeks by a member of the community seeking support as an objection "to the closure of Quinlan Street and the development of an Intergenerational Community Hub".

The petition contained some 70 signatures however there were a few signatures from those who were not residents or ratepayers within the Shire. This still accounts for some 60 plus signatures of residents and ratepayers. It has been suggested to my staff by a person who signed the petition that the signing sheet was circulated without the commentary explaining the petition. While this is only hearsay, it would be a situation contrary to the proper conduct of a petition if this was the case. Another thought they were signing the pharmacy petition for the doubling of prescription quantities of certain drugs which was at the same location over the same time.



The concerns of the signatories are listed as follows;

Closing of Quinlan Street

This was listed as the primary concern as it is a busy road and the petition states that those who have signed do not want Quinlan Street closed. As you will read in the petition, suggestions were made for alternative siting of some of the youth elements. One of these is a suggestion to locate the basketball court on one of the tennis courts. While this is possible, consultation would have to occur with the tennis club and funds own source funds applied to redevelop the court as it is unlikely to attract grant funding. The tennis club part funded the court surfacing and Council could not change the markings without proper discussions with the club.

Intergenerational Activity Centre

The concept of an Intergenerational Activity Centre was questioned as to whether this would be wanted by the youth of the district and asked the question as to what it is.

The concept is to create a space where differing demographics of the community have the ability to share broader spaces while still maintaining their individual spaces. The hall was to be redeveloped into areas such as a youth learning area, shared spaces for seniors and sporting groups such as Karate, covered outdoor play space for early childhood learning and a redevelopment of Gumnuts. This demonstrates a colocation of facilities which makes it easier to source grant funding for the development of facilities.

There was additional construction around the area to create more individualised spaces and to create an integrated community centre styled facility. This is very much how many other contemporary facilities are constructed or developed today all over the state.

An intergenerational activity centre is about the whole community and not just youth or senior citizens. This part of the plan is well into the future and not directly related to the closure of Quinlan Street.

The Masterplan has some suggested layouts for the hall building itself however these were never meant to be the final version of the fit-out. Most would agree that it was not an ideal use of the space and this would have gone to further consultation with view to keeping the hall space reasonably large and better developing the existing ancillary spaces within the structure and adding further structures to the surrounds.

Community plaza and youth plaza provide outdoor spaces for the community to use as public open space meeting and elements to help occupy teens and give them a sense of belonging following specific consultation with them.

Vandalism

The petition mentions that there will be a greater potential for vandalism to occur, particularly due to the location being close to state housing. Currently none of the facilities suffer greatly from vandalism and I would struggle to see this increase given that the area will be quite open air. With regard to the indoor space for youth, the planning for what services will be provided from the facility are not set in concrete. Again, the plan provided for the concept but was not a service delivery plan.

Youth Plaza & Community Plaza blocking Quinlan Street

This item goes to not wanting Quinlan Street closed and provides for alternative location of the plaza's which would require the relocation of the gardener's facility. Currently there is no alternative close to the main street and so this would have to be located either at the depot or at the recreation ground. The depot is not a favoured option due to the use of the sweeper and ride-on mower and the use of a main road to bring them into the townsite.



Nature Playground/Warmup Area

These two areas at the southern end of the changerooms were part of the consultation process. There was broad support for a nature playground at the facility and the Anstey Park facility is not targeted at occupying children while their parents may be playing senior sports. During home games, if children wanted to use Anstey Park, they would have to leave the sports ground and cross two busy streets to access that facility.

The petition does not seem to have significant issues with the various elements of the plan but seems to be objecting primarily to Quinlan Street being closed. The consultation we have undertaken has been about the closure of Quinlan Street and nothing more.

The petition has been signed by approximately 10% of electors or 6% of total residents. There has been no specific submissions supporting the closure and this may be that either most residents support the closure or that there is some apathy in the community toward the activity.

The other two submissions are attached to this item – one from a signatory to the petition and another from Sacred Heart Catholic School which dot points positive, negative and other matters for discussion.

Consultation

Nil other at this stage

Policy

Council has no specific policy regarding this matter

Statutory Environment

Local Government Act 1995

Financial Implications

Nil known at this time.

Strategic Implications

Shire of Goomalling Community Strategic Plan 2019-2028	
1.3.1	Develop a broad recreation master plan for the Shire
1.3.2	Develop, maintain and support appropriate recreation facilities throughout the Shire
1.3.3	Partner with stakeholders to achieve greater community participation in recreational facilities and services
2.1.1	Maintain an efficient, safe and quality local road network
3.2.1	Develop plans to manage assets in a sustainable way
4.1.1	Advocate for improved infrastructure and community services
4.1.2	Enhance open and interactive communication between Council and the community

Comment/Conclusion

I think that what has been lost in the public debate over this closure and the wider plan is that the concept plan within the Masterplan is just that, a concept. The nature of the plan has always been that as each phase becomes a potential reality that Council would go to further public comment.

While this is not to say that none of the concepts would survive, there needed to be a starting point for any plan and it then has the opportunity to evolve into a more contemporary project.



Council's focus right now is to decide whether the 60 plus signatures of the petition are a significant enough representation of the community sentiment to shelve the closure of Quinlan Street or that the silent majority who have not made a submission are more likely supportive of the proposal and therefore proceed with the closure.

Council has the opportunity to undertake further consultation, perhaps hold a community meeting, however this may only result in those opposed to the closure turning up, similar to the recent consultation period where only those opposed made a submission. This is not necessarily representative of the majority position only a majority of those who chose to make a submission or those who show up to a meeting. It should be noted that no sporting bodies, senior citizens groups or hall users made comment or aired concerns.

It should also be noted that was some resistance to the closure at the final meeting with Doug & Kay French registering their opinion that the closure was unnecessary. It is unclear from the minutes of the meeting if there was any further comment. It is noted that Jacqui Edwards attended the meeting representing the Karate Club and Doug and Kaye French also attended the meeting as were Harold Forward, Lois Leeson and Wendy Williams all of whom have signed the petition.

Whatever the outcome from the Council's perspective, the halting of the closure does not invalidate the plan, but it will require a revisit to the foundations of it to either relocate facilities that are proposed within the plan or scrap some of the components where there is no reasonable ability to relocate.

Some suggestions within the petition are reasonable and others will undoubtedly cause significant changes to the future phases of the proposal and come with differing costs and further consultation with affected groups.

From the perspective of a person whose office faces the intersection of Hoddy and Quinlan Streets, I can attest to the fact that this is a busy street, and many people are oblivious to the dangers of this intersection. I would see an average of one near miss every day or two, I see people plough through the intersection at speeds that are dangerous given the location, I see trucks which have no right to be on the street use it as a thoroughfare risking being uninsured in the event of an accident. As the manager of the road, the closure of Quinlan Street would make the town site safer. But the focus of the closure is about the Masterplan and not road safety.

Much of the development of this plan will hinge on grant funding and as we plan for the youth spaces initially, the closure of Quinlan was an integral part of the process because of the location of these elements. This would also have facilitated the initial works to upgrade the ongoing portion of Quinlan Street and to potentially deal with some of the drainage issues and the like that affect the area. Should the closure not progress, the Council must endeavour to either re-site several elements of the youth/community spaces or scrap them.

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That the Council:

Reviews the submissions provided through the consultation period for the closure of a portion of Quinlan Street and advise the CEO as to what it considers as an appropriate way forward for the proposal to given that it is a KPI for his performance measurement for the current year.

To: Goomalling CEO and Goomalling Shire Council Members

Re: Closure of Quinlan Street and Intergenerational Community Hub

We are writing this letter to you all with our concerns and objections about the plans to close off Quinlan Street to make way for the development of an Intergenerational Community Hub.

1. Our primary concern is the plan to close Quinlan Street. This is a busy road that is used by many people daily. We have attached a petition of people in the community who do NOT want to see Quinlan Street closed to give you an indication of the number of people who agree with this. We believe that we can create a space for the teenage demographic WITHOUT closing the road and finding a happy medium for everyone.
 - Could we not consider integrating the basketball court together with the tennis courts, which are unlikely to be used. If we must redo the surface and fence them, it would still be the most appropriate spot to have the basketball court. It is only for recreational use anyway. There are already external toilet facilities at the tennis club as well which can be used. This is something that has not at all been discussed on the proposed plans.
Quinlan Street can then remain open. Yes, it would not be "one precinct", but the area is fenced off anyway with the boundary fence so even on the plans it is not "one precinct". It also links the space to the BMX track which might then encourage more use there as well.
2. Our second concern is questioning whether an Intergenerational Activity Centre is something that the youth of Goomalling want? We are uncertain as to what an Intergenerational Activity Centre is. What is inside an Intergenerational Activity Centre? How is this going to be a space teenagers can use? Does it need to be staffed? Is it going to be locked? If it is not open after hours, we are concerned it is just not going to be used, and if it is always open, there is a high chance that vandalism will occur. Is this not going just create a space for loitering, especially being located so close to state housing.
 - Are we not better off keeping the functionality of the building as a hall which can be hired out, by groups such as karate, dance, and others who may find the space useful and be prepared to pay for it with a guarantee that it will not be vandalised?
3. The Youth Plaza (8) and Community Plaza (10) are the part of the plan that blocks Quinlan Street.
 - Is it not possible to consider putting the Youth Plaza/Community Plaza alongside the Community Garden or the hall to utilize that space? It still creates a nice space, the entry/exit to the childcare centre can remain open, and it allows for more parking space at the footy oval and keeps Quinlan Street open.

4. The Nature Playground (22) has been moved from the current location which we believe is a fantastic move. However, now that there will be a nature playground at Anstey Park, there is no longer a need for a second nature playground in town.
- If we could develop a good playground for children of all ages, even if we had to use up the extra space where the warmup training (19) is proposed, that would be ideal. It seems unlikely that footy players will go to use that space specifically to warmup. And it would only be during the football season if it was there. What is the use of the warmup training area for the rest of the year? Can they not continue to use the grassed area as they always have?

Kind Regards

Concerned Community Members/Rate Payers

Signatures from community members/rate payers who OBJECT to the closure of Quinlan Street and the development of an Intergenerational Community Hub.

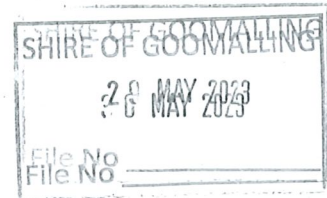
Name	Signature
Jesse Edwards	Jed
Jacqui Edwards	J Edwards
Anna-Maria Bywaters	A M Bywaters
SHANE BYWATERS	S Bywaters
Walter Bill Harten	W B Harten
Lisa Harris	L Harris
Tray Harris	T Harris
BCAIA	BCAIA
Sarah Edmonds	S Edmonds
Debbie Bywaters	D M Bywaters
ROBIN JOHN	R John
Ruth Carr	R Carr
CLINTON JOHN	C John
Dean Haywood	Dean Haywood
Marcia Haywood	M Haywood
Lauren Law	L Law
DAVID VALLON	D Vallon
Natalie DeIMO	N DeIMO
Jenni Shaw	J Shaw
Kim CORNING	K Corning
Brenda Beck	B Beck
MARIE SCHMIDT	M Schmidt
Stanley Schmidt	S Schmidt
Natasha Read	N Read
Rick Read	R. Read
PAUL MARRELL	P. Marrell
Alison D'Mello	A D'Mello
Learne Taylor	L Taylor

Signatures from community members/rate payers who OBJECT to the closure of Quinlan Street and the development of an Intergenerational Community Hub.

Name	Signature
E. B. Bywaters	E. B. Bywaters
Tammal Forward	Tammal Forward
Therese Rowell	Therese Rowell
Vivian Burdette	Vivian Burdette
A. Forward	A. Forward
Lana Durey	Lana Durey
Harold Forward	Harold Forward
Taryn Anderson	Taryn Anderson
Elaine + Peter Coulsen	Elaine + Peter Coulsen
Janine Coulthard	Janine Coulthard
Kerrie Anderson	Kerrie Anderson
Jess Rodwell	Jess Rodwell
Clint Major	Clint Major
JOSIE THOMSON	JOSIE THOMSON
PETER ERHARDT	PETER ERHARDT
DANE LESON	DANE LESON
H. SAN YERN	H. SAN YERN
Cathy Jensen	Cathy Jensen
R. WILLIAMS	R. WILLIAMS
LAURIE JENSEN	LAURIE JENSEN
Lynette Lockyer	Lynette Lockyer
NENDY WILLIAMS	NENDY WILLIAMS
PETA BROWN	PETA BROWN
KAY FRENCH	KAY FRENCH
GRAEME HARRIS	GRAEME HARRIS
BASIL WALLEY	BASIL WALLEY
MAXINE HARRIS	MAXINE HARRIS
Pamela Atkinson	Pamela Atkinson

Signatures from community members/rate payers who OBJECT to the closure of Quinlan Street and the development of an Intergenerational Community Hub.

Name	Signature
Lois Leeson	L. Leeson
IAN LEESON	I. Leeson
Sue CARR	Sue Carr
Melanie Gee	Melanie Gee
Felicity Sewell	F. Sewell
DRS Haywood	D. Haywood
G. COOK	G. Cook
G CARR	G. Carr
B. Anderson (CAPT VFRS)	B. Anderson
Barry Beal	Barry Beal
Russell Beal	Russell Beal
Nathan Beal	Nathan Beal
JUDY SEWELL	J. Sewell
Yvonne Haywood	Y. Haywood



Peter Bentley
Chief Executive Officer
PO Box 118
GOOMALLING WA 6460

30TH May 2023

Dear Peter

I wish to register my objection to the proposed closure of Quinlan Street and development of the recreation ground for the following reasons:

- The inconvenience accessing Lockyer Street from the east.
- Residents on the west side of Lockyer Street inconvenienced by closure.
- Why do we require more parking ?
- The increased use of traffic at the Hotel corner is an unsafe option due to verge parking.
- There is enough space available at the existing tennis/netball courts for a basketball court.
- Previous basketball courts were not replaced.
- No estimate of costs have been provided.
- Considering our financial position surely we have more pressing and realistic projects needing attention.

Hoping the Shire will reconsider its plans the close Quinlan Street.

Thanking you.

Regards

A handwritten signature in blue ink, appearing to read "Peta Brennan", with a horizontal line extending to the right.

Peta Brennan



Established 1912

Sacred Heart Catholic School

PO Box 86 (Hoddy St) Goomalling WA 6460

Ph 08 9629 1174 Fax 08 9629 1486

Email: admin@shcsgoom.wa.edu.au

Website: www.shcsgoom.wa.edu.au

Positive

- More parking
- Aesthetics
- More for Children
- Fixed parking
- Potential to reduce traffic on Hoddy Street
- Pedestrian crossing

Minus

- Quinlan Street closure
- Parking and traffic flow potentially dangerous (reverse)
- Hoddy Street more narrow
- Bus access

Interesting

- SHCS to go on the working party?
- Lighting?
- Consider changing entrances for better traffic flow?

From: [Ruth Carr](#)
To: [Goomalling EACEO](#)
Subject: Comments: Proposed Development- Road Closing Quinlan Street
Date: Friday, June 30, 2023 11:23:24 AM

To Shire Council Goomalling,

Firstly Thank you for giving us the opportunity to submit comments, greatly appreciated.

As a resident of Lockyer Street, I fully support creating Children & Youth Precincts but I would like to submit the following Comments:

1. Many Road users travelling on Lockyer Street while entering and exiting the town rarely obey the Traffic Speed limit and the road variation makes visibility poor in several areas. Additional Traffic attempting to turn off Lockyer Street into the new proposed Sports Complex entry would be hazardous and would result in increasing(not reducing) the risk of accidents(and likely more accidents involving an increased Speed).
2. The proposed area can(at times) be subject to anti-social behaviour. By closing the road, pending unknown development time frames and funds, I feel you would be aiding the situation for a longer period of time, making it further un-safe for young children and parents regularly travelling that footpath too and from school each day.
3. Visit any other town(big and small) in Western Australia with your children or grandchildren and you will see it is clear, that amazing regularly developed and well maintained Children and Youth precincts are one of their TOP priorities. The designs from 2018 are now very outdated and way behind what many other towns currently have on offer.
4. A new updated plan is needed. (and unfortunately it is likely way more funds too♀).

Many Thanks Ruth Carr

Sent from my iPhone

From: [PETA MARRELL](#)
To: [Goomalling EACEO](#)
Subject: Proposed Quinlan St road closure.
Date: Tuesday, June 27, 2023 7:31:43 PM

Good morning,

I fully support the proposed closure of Quinlan Street. The overall plan will benefit our community and improve access to the community garden.

Regards
Peta Marrell

From: [Toby and Jo Bywaters](#)
To: [Goomalling EACEO](#); [Goomalling Gumnuts](#)
Subject: Quinlan St Closure
Date: Thursday, July 6, 2023 12:55:24 PM

Dear Peter / Councillors

I am writing to you to express our concerns with the planned closure of Quinlan St in Goomalling from the Goomalling Gumnuts Inc

Whilst we are not against the closure and understand the vision of council, we would like more planning to be completed on the entrance and exit to Gumnuts.

Currently most parents and workers enter and exit from Quinlan st, some using the ally way which from how we understand the plans, will be the new main entrance / exit to the centre.

Increasing the traffic through this ally way does raise some concerns.

- Pulling out onto Hoddy st, the vision is blocked for the footpath from the pub fence
- This lane way is really only suitable for one way traffic
- Increasing the traffic on this lane way effects the outdoor play area at gumnuts. It gets quite dusty and often the kids get covered in dust from vehicles using it, making it not a very welcome and safe area to use.
- We already have issues with debris blowing in from the street and this will only increase with an increase of traffic

We hope you take our concerns into consideration, happy to discuss these issues further if required

Kind Regards,

Jo Bywaters – Chairperson
Goomalling Gumnuts



9.4 CONTIGUOUS RATING A1086 & A1087 M BROOKES

File Reference:	
Disclosure of Interest:	Nil
Applicant:	Shire of Goomalling
Previous Item Numbers:	
Date:	12 July 2023
Author:	Peter Bentley – Chief Executive Officer
Authorising Officer:	Peter Bentley – Chief Executive Officer
Attachments	1. Letter – Michael Brookes

In Summary

To consider a request for Council support from Mr Michael Brookes to request contiguous rating for Lots 393 & 394 Smith Street.

Background

Council has received a request from Mr Michael Brooks to support contiguously or group rating the Smith Street industrial properties. Group rating may reduce the valuations of the property however there is no guarantee that this will reduce the rates payable for any property.

The Council has supported such requests in the past.

Consultation

Nil other

Policy

Council does not have a specific policy regarding this matter however precedent has been set in the past through support for historical requests.

Statutory Environment

- Local Government Act (1995)

Financial Implications

There is a potential for a reduction in rates flowing from the group valuations.

Strategic Implications

Shire of Goomalling Community Strategic Plan 2019-2028	
1.1.1	This matter is not dealt with in the Shire of Goomalling Community Strategic Plan.



Comment/Conclusion

The Council has set a precedent by supporting group rating applications in the past which has the potential to reduce rates, sewerage rates and other fees and charges. Given that this has also been applied to the property of a sitting Councillor in the past, Council has little option but to support the application.

In the past I believe that the CEO has made the applications on behalf of ratepayers seeking group valuations however I believe that the appropriate process is for the ratepayer to make the application as there is information that must be provided by the ratepayer and this would lead to an obligation on the Council to verify such information rather than the onus being on the ratepayer.

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That the Council:

1. Advise Mr Brookes that;
 - a) it has no objection regarding his request for group rating;
 - b) that he will need to make application to the Valuer Generals office to have the valuations grouped;
 - c) that there is no guarantee that the group valuations will reduce his rates and that they may increase;
 - d) that once the group valuation is in place he cannot rescind his decision to apply for group valuation.

SHIRE OF GOOMALLING

- 5 JUL 2023

File No _____

5.7.23

To Who it may concern,

I would like to amalgamate my two properties of A1086, Lot 393 Smith St * A1087 Lot 394 Smith St which are adjoining into one assessment if possible thanks.

~~Also~~ Also if I could be advised if once this is completed, am I able to build on joining centre line of two adjoining properties.

Kind regards, Michael Brookes



Mobile 0417 027 779

Email mtb.transport@yahoo.com



9.5 REQUEST BEN AND BERNADETTE CLARKE 78 BEECROFT ROAD

File Reference:	
Disclosure of Interest:	Nil
Applicant:	Ben and Bernadette Clarke
Previous Item Numbers:	Nil
Date:	10 July 2023
Author:	Peter Bentley – Chief Executive Officer
Authorising Officer:	Peter Bentley – Chief Executive Officer
Attachments	1. Letter – Ben & Bernadette Clarke

In Summary

To consider a request from Ben and Bernadette Clarke with regard to extra time to remove a transportable house from the above property.

Background

Bernadette and Ben have engaged Cottage Surveys to start the process of subdividing the block at Lot 2, 78 Beecroft Road Goomalling into two lots on the 13 December 2022 as they are unable to have three houses on the one lot. The land is currently being transferred from the Roy Clarke Family Trust No.2 to the Clarke Land Holding Trust. Ben is the appointer of both Trusts, however the transfer is taking longer than expected and this has led to having to temporarily suspend the subdivision process.

The proponents have signed a contract to build a T & R transportable home on the property at Lot 2, 78 Beecroft Road Goomalling however two homes exist on that property already.

The new home will be due to for transportation to Goomalling April 2024 and Bernadette and Ben still wish to proceed with the subdivision process and they will now re-locate one of the existing houses on the property to another property. This transfer will not allow them to apply for planning approval as they are unsure of how long the subdivision process will take.

The proponents are seeking permission from the Council to be allowed a six month time frame to remove the three bedroom transportable house currently on the most northern part of 78 Beecroft Road commencing from the time that the new house is commissioned as completed.

The Clarkes will use the existing house while the new house is being constructed and commissioned and this would relieve the considerable pressure in finding alternative accommodation in Goomalling or a surrounding town while the removal and construction process was taking place.



The proponents would like to request that the Council consider this request and that the six month grace period be incorporated in the Development Application conditions when they apply to Council for the new house. The proponents would be happy to sign an agreement to remove the third house and cover any administrative costs incurred in this process to give weight to their commitment to removing the third home.

Consultation

Nil other

Policy

Council does not have a specific policy relating to this matter.

Statutory Environment

- Local Government Act (1995)
- Shire of Goomalling TPS No 3

Financial Implications

Nil known

Strategic Implications

Shire of Goomalling Community Strategic Plan 2019-2028	
1.1.1	This matter is not dealt with in the Shire of Goomalling Community Strategic Plan.

Comment/Conclusion

There is a severe housing shortage across the entire country which is worse in regional areas. The request from the Clarkes is not unreasonable considering this severe shortage. To proceed the Clarkes are requesting an acknowledgement that the Council would view this matter positively when they submit a development application for the new house.

The scheme is quite specific in that Council cannot approve a third residential dwelling on a rural residential property and has no discretion to do so, however it can allow the proponents to reclassify one of the existing dwellings to holiday accommodation or chalet and this would allow for the three buildings to exist on the property. The Clarkes would have to put forward a simple DA to change the classification to one of these uses and then Council would need to advertise the change and advise neighbours.

At a later date the classification could be relinquished once the building is relocated. This would be the only legally available method of allowing the three dwellings to exist and for Council to approve the construction of the third dwelling.



Voting Requirements
Simple Majority

OFFICERS' RECOMMENDATION

That the Council:

Advise Ben and Bernadette Clarke that as part of a future development application to construct and site a new transportable home on Lot 2, 78 Beecroft Road Goomalling, that;

1. An initial development application is to be submitted to reclassify the existing secondary dwelling on the lot as a chalet;
2. A second development application is to be lodged at the appropriate time for the construction and siting of the new dwelling; and
3. The chalet be relocated to its new location as soon as possible after the completion of the new home; and
4. Council is advised as soon as the chalet is removed; and
5. The subdivision of Lot 2, 78 Beecroft Road be completed as soon as possible.

27/06/2023

Property: Lot 2 number 78 Beecroft Road, Goomalling
Residents: Ben & Bernadette Clarke

To the Goomalling Shire Council,

Bernadette and I have signed a contract with TR Homes to build a 5 bedroom transportable home on Lot 2 number 78 Beecroft Road. We engaged Cottage Surveys to start the process of subdividing the block into two lots on the 13 December 2022 as we are unable to have three houses on the one lot. The land is currently being transferred from the Roy Clarke Family Trust No.2 to the Clarke Land Holding Trust. I am the appointer of both Trusts, however the transfer is taking longer than expected and this has led to having to suspend the subdivision process temporarily.

The new home will be due to for transportation to Goomalling April 2024 and Bernadette and I still wish to proceed with the subdivision process and we now going to re-locate one of the existing houses on the property to another property. This will allow us to apply for approval as we are unsure of how long the subdivision process will take.

We would like to propose to the Council that we be allowed a six month time frame to remove the three bedroom transportable house currently on the most northern part of 78 Beecroft Road commencing from the time that the new house is commissioned as completed. The use of the existing house while the other house was being constructed and commissioned would the relieve the considerable pressure in finding alternative accommodation in Goomalling or a surrounding town while the removal and construction process was taking place.

Bernadette and I would like to request that the Council consider this request and that the six month grace period be incorporated in the Development Application conditions when we apply to Council for the new house. We would be happy to sign an agreement to remove the third house and cover any administrative costs incurred in this process to give weight to our commitment to removing the third home.

Could you please confirm whether Council would be agreeable to this request.

We look forward to your response.

Kind regards,



Ben & Bernadette Clarke
Email: ben@utfacom.au
Phone: 0428 291 010



9.6 PURCHASING POLICY

File Reference:	04-07
Disclosure of Interest:	Nil
Applicant:	Shire of Goomalling
Previous Item Numbers:	
Date:	10 July 2023
Author:	Peter Bentley – Chief Executive Officer
Authorising Officer:	Peter Bentley – Chief Executive Officer
Attachments	1. Purchasing Policy for Review

In Summary

To consider the attached purchasing policy.

Background

Council staff are required to undertake purchases on Councils behalf both directly budgeted and on a project basis. Some projects will require a single order while others will have a number of orders for multiple trades, however the projects are budgeted.

Since moving to Auditor General Audits, Council staff have struggled to find a balanced purchasing policy that provides good risk management and oversight of the purchasing process but still giving staff flexibility. Council adopted an interim policy in December which has largely worked well however we have still had the odd problem with authorisations.

Consultation

Nil other

Policy

Review of existing policy

Statutory Environment

- Local Government Act (1995)

Financial Implications

Nil

Strategic Implications

Shire of Goomalling Community Strategic Plan 2019-2028	
4.2.2	Promote a culture of continuous improvement processes and resource sharing
4.2.3	Use resources efficiently and effectively



Comment/Conclusion

The attached policy varies only by authorising the Manager of Finance to sign purchase orders for budgeted expenditures up to the same level as the Works Manager and the CEO. During the interim 2023 audit the Auditors picked up that the MOF had signed a purchase order beyond what was the threshold for that position however she was acting CEO at the time but this still caused some difficulty in dealing with the Audit team.

It is hoped that by increasing the threshold that this will reduce the time spent in dealing with Audit queries regarding purchasing

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That the Council:

Adopt the attached Shire of Goomalling Purchasing Policy



POLICY MANUAL FINANCE

2.4 PURCHASING POLICY

Distribution	Elected members, All Employees, Volunteers
Responsible Officer	Chief Executive Officer
Date adopted	19 July 2023
File Reference	04.07

Purpose

To articulate purchasing parameters for procurement on behalf of the Shire of Goomalling for operating expenditure.

Objective

To provide compliance with the *Local Government Act 1995* and the Local Government (Functions and General) Regulations 1996 as amended.

To deliver a best practice approach and procedures for purchasing for the Shire of Goomalling. Having said this, there is a desire to reduce the administrative burden, in particular for small purchases for consumables such as small hardware items, batteries, tyres, stationery and photocopy charges, callout fees, alarm monitoring and the like. The administrative burden should not outweigh the benefit of complying with this policy.

To ensure consistency for all purchasing activities within the Shire of Goomalling operational areas.

Scope

Elected Members, All staff, Volunteers

Standard

Ethics and Integrity

All employees of the Shire of Goomalling are expected to practice a high standard of ethics and integrity in undertaking purchasing transactions, and act in an honest and proficient manner that preserves the standing of the Shire of Goomalling.

The following principles and behaviour must be prescribed throughout all stages of purchasing to ensure fair and equitable treatment of all parties:

- Full accountability for all purchasing decisions and effective management of expenditure of public monies on the basis of achieving value for money;

SHIRE OF GOOMALLING
 AGENDA FOR ORDINARY MEETING OF COUNCIL
 WEDNESDAY, 19 JULY 2023



- All purchasing practice comply with relevant legislation, regulations and standards consistent with the Shire of Goomalling’s policies and code of conduct;
- Procurement is undertaken on a competitive basis and potential providers receive impartial, candid and consistent management;
- Process, evaluation and decision making is transparent, impartial and documented in accordance with relevant policy and audit requirements;
- Actual and perceived conflicts of interest are identified, discloses and manage appropriately; and
- Information provided to the Shire of Goomalling by a supplier/contractor is treated as commercial-in-confidence and will not be released unless authorised by the supplier or relevant legislation.

Policy:

Limits	Policy	Officer who can Sign
Up to \$5,000	Direct small purchase from suppliers requiring verbal quotation(s) only, if practical . Again, if practical , written quotations should be obtained for amounts over \$1,000. Quotes will not be required for items such as software licences and support for corporate software already in use, utility payments, ongoing alarm monitoring, photocopy charges, small consumable charges such as stationery, hardware, small parts. Emergency purchases and callouts do not require quotation.	CEO Manager of Finance Manager of Works
\$5,001 - \$19,999	Where practical , obtain two verbal or written quotations. Quotes will not be required for items such as software licences and support for corporate software already in use, utility payments, ongoing alarm monitoring, photocopy charges, small consumable charges such as stationery, hardware, small parts. Emergency purchases and callouts do not require quotation.	CEO Manager of Finance Manager of Works
\$20,000 - \$249,999	Where practical , obtain at least two written quotations containing price and specification of goods and services (with procurement decision based on all value for money considerations).	CEO Manager of Finance (in CEO’s absence for budgeted items) Manager of Works (For budgeted Works expense only)
\$250,000 and above	Conduct a public tender process.	CEO

Conditions:

- (1) The above purchasing policy is to be used in conjunction with the “*Regional Price Preference (Buy Local) Policy*”.
- (2) Where suppliers require a fee for a quote, staff are to note this. The CEO to adjudicate as to whether that supplier should provide a quote in such instance.



Where/if Practical – This term is used to reduce the need to quote a situation where;

- The supply is an emergency supply or urgent callout situation;
- The supply is for small items such as stationery, hardware, small spares or parts and consumables;
- The supply is a utility charge such as power, water, telephony or ongoing photocopy charges and the like;
- The supply is for a good or service that is unlikely to be able to be quoted such as software or general IT support, licenses, alarm monitoring, or contractors providing an ongoing service such as contract cleaning, management services or agreed fee for service arrangements. (Such as swimming pool manager, contract planner, contract building surveyor, contract cleaning, contract health officer, finance consultant)
- The supply is for a service supplied locally where mobilisation costs would be incurred through an alternative supplier that would add significantly to the cost of the service or supply. (This could include a local contractor/plumber/electrician)

Roles & Responsibilities

Elected Members

- To create and review policy to minimise risk and ensure best practice.

Chief Executive Officer

- Comply with policy for purchasing
- Ensure staff understand and comply with policy

Executive Management

- Comply with policy for purchasing
- Ensure staff understand and comply with policy

Employees

- Comply with policy for purchasing

Legislation

[Local Government Act 1995](#) (s 6.10)

[Local Government \(Functions and General\) Regulations 1996](#) (r 11a)

[Local Government \(Financial Management\) Regulations 1996](#) (r13)

[State Records Act 2000](#)

[Occupational Safety and Health Act 1984](#) (s. 23-1 9a, b & c)

Document Links

Strategic Community Plan

C1.5 Develop a policy framework to guide Council's decision making

C2.7 Provide reporting processes in a transparent, accountable and timely manner

Forms

Verbal Quotation Record Form (up to \$19,999)

Quotation Record Form (\$20,000 to \$149,999)

Procedures Manual

Nil

Local Law



Nil

Delegation

DE1 Payments from Trust and Municipal Funds

DE11 Expressions of Interest prior to calling for Tenders

DE12 Inviting Tenders

DE13 Minor Variations to Tenders

Review History

Version	Review date	Minute no.	Notes
1	September 2015	1 092015.SM	
1.1	May 2016	8.1.3 052016.OM	1.3.1 Purchasing Policy
1.1	June 2016	8.1.2 062016.OM	1.3.2 Regional Price Preference (Buy local) policy
2	20 May 2020	197 OM_200520	Formerly 1.3.1 Purchasing Policy and 1.3.2
2.1	15 December 2021	Resolution No.	Updated with new tendering threshold
2.2	19 July 2023	Resolution No.	Updated signing authority for DCEO



9.7 RECORDS MANAGEMENT POLICY

File Reference:	04-07
Disclosure of Interest:	Nil
Applicant:	Shire of Goomalling
Previous Item Numbers:	
Date:	10 July 2023
Author:	Peter Bentley – Chief Executive Officer
Authorising Officer:	Peter Bentley – Chief Executive Officer
Attachments	1. Records Management Policy for Review

In Summary

To consider the attached Record Management Policy.

Background

Shire of Goomalling is required under the *State Records Act 2000* to have a Recording Keeping Plan that addresses the 6 principles identified by the State Records Office in relation to the creation, preservation, storage and disposal of Local Government Records.

Record Keeping Plans are approved by the State Records Office and must be reviewed every 5 years (due 2 August 2023), as part of that process relevant policies and procedures must be in place.

Consultation

Nil other

Policy

Review of existing policy

Statutory Environment

- Local Government Act (1995)
- State Records Act 2000

Financial Implications

Nil

Strategic Implications

Shire of Goomalling Community Strategic Plan 2019-2028	
4.2.2	Promote a culture of continuous improvement processes and resource sharing
4.2.3	Use resources efficiently and effectively



Comment/Conclusion

The attached policy is an updated to the new policy format and includes the consolidation of multiple policies into a 'Record Management Policy'.

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That the Council:

Adopt the attached Shire of Goomalling Records Management Policy



POLICY MANUAL

ADMINISTRATION

4.0 RECORDS MANAGEMENT POLICY

Distribution	Elected members, All Employees, Volunteers, Contractors
Responsible Officer	Chief Executive Officer
Date adopted	19 July 2023
File Reference	04.07

Purpose

The purpose of this policy is to establish parameters for shire representatives including volunteers, staff, contractors and elected members for effectively managing records in accordance with *State Records Act 2000*.

Objective

- Accurately outline the process for creation, capture and control, security and protection, access, appraisal, retention and disposal of records.

Scope

Elected members, All Employees, Volunteers, Contractors

Standard

1) Creation of Records

All elected members, staff and contractors will create full and accurate records, in appropriate format, of the Shire of Goomalling's business decisions and transactions to meet all legislative, business, administrative, financial, evidential and historical requirements.

2) Capture & Control of Records

All records created and received in the course of Shire of Goomalling business are to be captured at point of creation, regardless of format, with required metadata, into appropriate recordkeeping and business systems, that are managed in accordance with sound recordkeeping principles. Ephemeral Records are not required to be captured or maintained.

3) Security & Protection of Records

All records are to be categorised as to their sensitivity and adequately secured and protected from violation, unauthorised access or destruction, and kept in accordance with necessary retrieval, preservation and storage requirements.

4) Access to Records

- Access to the Shire of Goomalling's records by staff and contractors will be in accordance with designated access and security classifications.
- Access to the Shire of Goomalling's records by the general public will be in accordance with the *Freedom of Information Act 1992* and relevant policy.
- Access to the Shire of Goomalling's records by elected members will be via the CEO in accordance with the *Local Government Act 1995*.



5) Appraisal, Retention & Disposal of Records

All records kept by the Shire of Goomalling will be retained and disposed of in accordance with the General Disposal Authority for Local Government Records, produced by the State Record Office of WA. All record disposal is authorised by the CEO.

Roles & Responsibilities

Elected Members

- Adhere to the policies and procedures
- Review the policies and procedures
- Ensure any records received or created by an Elected Member are passed on to the Shire Office to be registered as part of Council's correspondence registration process.

Chief Executive Officer

- Review of state archives to be transferred to the State Records Officer
- Authorise destruction of records
- Certified revisions and updates of policy and procedures
- Monitor effectiveness and adherences to policy

Employees

- Adhere to the policies and procedures

Legislation

[Local Government Act 1995](#) (s5.27, s6.2)

[Local Government \(Administration\) Regulations 1996](#) (s12.1, s12.2, s12.3, s14.1)

[State Records Act 2000](#)

[Freedom of Information Act 1992](#)

Document Links

Strategic Community Plan

C1.4 Enhance open and interactive communication between Council and the community

C1.5 Develop a policy framework to guide Council's decision making

C1.6 Promote and support community member's participation in the Shire's governance

C2.2 Promote a culture of continuous improvement processes and resource sharing

C2.7 Provide reporting processes in a transparent, accountable and timely manner

Procedures Manual

[General Disposal Authority for Local Government](#)

Records Management Procedure

Local Law

Nil

Delegation

Nil



Review History

Version	Review date	Minute no.	Notes
1	September 2015	1 092015.SM	
2	19 July 2023		Supersedes Policy 2.2 Business Ephemeral Records Guidelines, 2.3 Metadata Policy, 2.4 Email Procedures, 2.5 Electronic Records Policy, 2.6 Archiving Policy, 2.7 Vital and Legal Documents, Procedures, 2.8 Correspondence procedures; 2.9 Elected Members Records Policy, Records Management Policies & Procedures 2012



9.8 PROPOSED ADDITIONS TO EXISTING GRAIN HANDLING & STORAGE FACILITY

File Reference	10.5A
Disclosure of Interest	Edge Planning & Property receive payment for planning advice to the Shire and declare a Financial Interest (section 5.70 of the <i>Local Government Act 1995</i>)
Applicant	CBH Group
Previous Item Numbers	Various including Resolution 166 on 5 February 2020
Date	11 July 2023
Author	Steve Thompson – Consultant Planner
Authorising Officer	Peter Bentley – Chief Executive Officer
Attachments	<ol style="list-style-type: none"> 1. Application letter and plans 2. Location plan

Summary

For Council to consider a proposal for additions to an existing grain handling and storage facility at Lot 200 Konnongorring West Road, Konnongorring.

Background

Council has received a Development Application from CBH Group to extend the existing grain handling and storage facilities at their Konnongorring site. The proposed development includes the following:

- Two open bulkheads which are 1.8m high, 230m long and 35m wide. Each bulkhead has a capacity of 30,130 tonnes, with the proposal increasing storage capacity at the facility by 60,260 tonnes;
- Two 500 tonnes per hour drive-over-grid stackers; and
- Associated internal roads and drainage works.

The property is 34.2483 hectares and contains the existing Konnongorring CBH grain handling and storage facility.

The applicant previously submitted a Traffic Impact Statement in support of a separate Development Application. The applicant advises the additions will have no additional traffic impacts to that considered in the previous Traffic Impact Statement.

Consultation

The current Development Application has not been subject to community and stakeholder consultation. It is a discretionary decision of Council whether or not to undertake advertising on the Development Application. Noting the scale of the existing grain handling and storage facility, the Shire administration suggest that no advertising is required for this Development Application given it is a relatively modest addition.

Statutory Environment

Planning and Development Act 2005
Planning and Development (Local Planning Schemes) Regulations 2015
Shire of Goomalling Town Planning Scheme No. 3 (TPS3)

The property is zoned ‘Rural 3 – General Farming’ in TPS3. An objective of the zone includes to assess development applications ‘to ensure minimal intrusion onto the rural landscape and the amenity of adjoining properties.’

The proposal is best described as ‘Industry Rural’ in TPS3. Industry Rural is an ‘AA’ use (the Council may at its discretion permit the use) in the Rural 3 – General Farming zone.



Table 2 – Development Table of TPS3 sets a minimum boundary setback for buildings of 50 metres from the frontage boundary and 20 metres from other boundaries. The proposed development complies with TPS3 setback requirements.

The proposed facility is located outside of the bush fire prone area as designated by the Fire and Emergency Services Commissioner.

Policy Implications

Nil

Financial Implications

The applicant has paid the Development Application fee. The applicant has a right of review to the State Administrative Tribunal to review the Council’s decision. If this occurred, the Shire would have associated costs.

Strategic Implications

Shire of Goomalling Community Strategic Plan 2019-2029	
2.1.2	Support the provision of appropriate regional transportation links, including rail, air and bus services
2.3.3	Facilitate and create sustainable business and community partnerships
2.3.4	Promote new commercial and industrial development through appropriate zoning of land and infrastructure

Comment/Conclusion

It is recommended that Council conditionally approve the Development Application given:

- The grain handling and storage facility is existing. The proposed additions do not create significant additional impacts on the amenity of the area;
- Subject to addressing drainage, dust and noise, there are expected to be manageable environmental impacts;
- It is overall consistent with the planning framework;
- CBH Group note the proposed additional storage will not change the number of trucks entering and leaving the site;
- All vehicles enter and exit the site via the crossover off Konnongorring West Road, so there is no direct impact on Northam-Pithara Road (managed by Main Road WA);
- It supports growing the district economy and supporting job creation; and
- Development conditions can assist to control the use and management of the development.

Voting Requirements

Simple Majority



OFFICERS' RECOMMENDATION

That the Council grants development approval to CBH Group for additions to an existing grain handling and storage facility (two proposed open storage bulkheads) at Lot 200 on Deposited Plan 416028 Konnongorring West Road, Konnongorring, subject to the following conditions:

1. The development hereby approved must be carried out in accordance with the plans submitted with the application, addressing all conditions, or otherwise amended by the local government and shown on the approved plan and these shall not be altered and/or modified without the prior knowledge and written consent of the local government.
2. The vehicle access ways are to be designed, constructed and drained prior to occupation. Thereafter, the applicant/landowner shall appropriately maintain these areas to the satisfaction of the local government.
3. A Stormwater Management Plan shall be submitted for approval by the local government and thereafter implemented and maintained to the satisfaction of the local government. Amongst matters, the Stormwater Management Plan should ensure that all stormwater from proposed bulkheads and vehicle access ways are collected, detained and suitably treated on site for the 1 in 5 year average recurrence interval (ARI) storm event.
4. Any lighting devices are to be positioned and shielded so as not to cause any direct, reflected or incidental light to encroach beyond the property boundaries, in accordance with Australian Standard AS4282/1997.
5. The applicant/landowner is to implement dust control measures to the satisfaction of the local government on an on-going basis.

Advice

- A) If the development the subject of this approval is not substantially commenced within a period of 2 years, or another period specified in the approval after the date of the determination, the approval will lapse and be of no further effect.
- B) This is not a Building Permit. A Building Permit must be obtained before any building works commence.
- C) The applicant/landowner should ensure that noise emissions do not exceed the assigned levels in prescribed in the *Environmental Protection (Noise) Regulations 1997*.
- D) The applicant is advised to undertake the appropriate due diligence processes for this activity type associated with the Aboriginal Cultural Heritage Act to satisfy the requirements of that Act and avoid potential penalties.
- E) A low fuel area should be maintained around the facility at all times.
- F) If the applicant is aggrieved by this determination there is a right of review by the State Administrative Tribunal in accordance with the *Planning and Development Act 2005* Part 14. An application must be made within 28 days of the determination.



27 July 2022

Chief Executive Officer
Shire of Konnongorring
Via email: ceo@konnongorring.wa.gov.au

Dear Peter,

LOT 200 ON DEPOSITED PLAN 416028, KONNONGORRING STORAGE ADDITIONS TO AN EXISTING GRAIN HANDLING & STORAGE FACILITY

CBH is seeking development approval from the Shire of Konnongorring for a proposed addition (storage bulkheads) to an existing grain handling and storage facility located at Lot 200 on Deposited Plan 416028, Konnongorring. The subject application is prepared in accordance with Schedule 2 (Deemed Provisions) of the Planning and Development (Local Planning Schemes) Regulations 2015 and the Shire of Konnongorring Local Planning Scheme No. 3.

As you know, CBH had a record harvest last year where its existing storage infrastructure was not enough to keep up with the record crop. The Shire of Konnongorring assisted CBH with this storage shortfall through approving a development application for two additional open bulkheads at the Konnongorring CBH site.

Given the current forecast of another significant harvest for FY22/23 and the large amount of carryover grain that remains at many of our receival sites, we have identified the potential need to build emergency storage at identified sites with forecasted storage deficits for this harvest. The Konnongorring CBH site is one of these sites where there is a strong likelihood that emergency storage could be needed. As such CBH is seeking development approval from the Shire of Konnongorring for an additional two storage bulkheads.

Traffic Management

Last years' record harvest meant a higher than expected amount of grain needed to be stored at CBH sites prior to it going to Port. A large amount of carryover grain remains at many of these sites. If a CBH site is full and not able to accept any more grain, then operationally CBH must bring in trucks sooner to outload grain so a site can store more. If this out loading does not occur and a site remains full, trucks still use the road to deliver grain however will drive past Konnongorring to a grain receival site closer to Port.

Additional storage capacity does not change local production or the number of trucks coming to and from the site, it just changes the way grain is managed and handled onsite. The effect of constructing the emergency storage is that out loading movements during the busy harvest period, to keep the site open for grower receivals, are eliminated.

If the Shire requires more information in relation to traffic management, CBH would welcome a condition requiring a Traffic Impact Statement to be provided within 90 days following the date of any development approval and all identified actions within the Traffic Impact Statement are to be suitably implemented to the satisfaction of the Shire. It is noted that a Traffic Impact Statement was prepared as part of last year's application and the recommended actions were implemented. No changes to access or egress are proposed as part of this application. As such it is considered that the proposed additions will have no additional traffic impacts outside of the Traffic Impact Statement considered by the Shire last year. Any concerns can also be controlled through a time limited development approval should the Shire deem it appropriate.

Stormwater Management

All stormwater drainage associated with the proposed development is to be contained and disposed of on-site. As part of this application, an onsite drainage basin will be constructed that caters for a 5-year ARI event with all stormwater runoff from the proposed bulkheads and associated accessways directed to this drainage basin system where all surface water will be detained on-site up to the 5-year ARI event. CBH would be supportive of a condition being imposed on any development approval requiring stormwater to be retained and managed on site.

Noise & Dust Management

CBH shall ensure that noise from the specification and installation of any mechanical equipment as well as traffic and construction noise does not exceed assigned levels prescribed in the *Environmental Protection (Noise) Regulations 1997*, when it is received at a neighbouring property. CBH undertakes frequent noise and dust monitoring across its sites to ensure that dust and noise levels are measured and are mitigated whenever there is an exceedance.

The proposed additional bulkheads are aligned with the planning framework and are not considered to result in any new amenity impacts to the surrounding area. CBH respectfully requests the Application for Development Approval is considered by the Shire of Konnongorong expeditiously given the straightforward nature of the application and its general compliance with the Shire's planning framework. Should you have any question in relation to the details provided in this submission, please contact Timothy Roberts on 9216 6061 or timothy.roberts@cbh.com.au

Yours Sincerely,



Timothy Roberts
Specialist – Regulatory Approvals Adviser



Co-operative Bulk Handling Ltd
ABN 29 256 604 947
Level 6, 240 St Georges Terrace
Perth WA 6000 Australia
GPO Box L886
Perth WA 6842 Australia
Telephone
+61 8 9237 9600
Grower Service Centre
1800 199 083
cbh.com.au

CONSENT TO SIGN APPLICATIONS FOR DEVELOPMENT APPROVAL AND BUILDING PERMITS FOR LAND OWNED, LEASED OR LICENSED BY CO-OPERATIVE BULK HANDLING LIMITED

This is to confirm that Co-operative Bulk Handling Limited (**CBH**) authorises each person who holds one of the following titles with CBH to sign and lodge on behalf of CBH all applications for development approval and building permits (and all documents associated with those applications) in connection with land owned, leased or licensed by CBH:

1. Chief External Relations Officer
2. Head of Government & Industry Relations
3. Manager – Government & Industry Relations
4. Principal – Planning & Approvals
5. Specialist - Regulatory Approvals

Should you require further information regarding any present or future applications for development approval or building permits, please do not hesitate to contact CBH Planning Approvals at PlanningApprovals@cbh.com.au.

This consent takes effect on the last date written below and from that date supersedes any and all previous consents to sign and lodge on behalf of CBH applications for development approval and / or building permits (and documents associated with those applications) in connection with land owned, leased or licensed by CBH.

Yours faithfully

Signed for and on behalf of Co-operative Bulk Handling Limited by or in the presence of:

Signature of Director

PAUL SADLEIR

Name of Director

Date of signing

21/12/2022

Signature of ~~Director~~ or Company Secretary

RICHARD CODLING

Name of ~~Director~~ or Company Secretary

Date of signing

21/12/2022



Co-operative Bulk Handling Ltd
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This is to confirm that Co-operative Bulk Handling Limited (**CBH**) authorises each of the following CBH personnel to sign and lodge on behalf of CBH all applications for development approval and building permits (and all documents associated with those applications) in connection with land owned, leased or licensed by CBH:

1. David Paton, acting Chief External Relations Officer (permanent position: Head of Government & Industry Relations).
2. Rob Dickie, acting Head of Government & Industry Relations (permanent position: Manager - Government & Industry Relations).
3. Kellie Todman, Manager – Government & Industry Relations.
4. Aaron Lohman, Principal – Planning & Approvals.
5. Timothy Roberts, Specialist - Regulatory Approvals.

Should you require further information regarding any present or future applications for development approval or building permits, please do not hesitate to contact CBH Planning Approvals at PlanningApprovals@cbh.com.au.

This consent takes effect on the last date written below and from that date supersedes any and all previous consents to sign and lodge on behalf of CBH applications for development approval and / or building permits (and documents associated with those applications) in connection with land owned, leased or licensed by CBH.

Yours faithfully

Signed for and on behalf of Co-operative Bulk Handling Limited by or in the presence of:

Signature of Director

PAUL SADLEIR

Name of Director

21/12/2022
Date of signing

Signature of ~~Director~~ or Company Secretary

RICHARD CODLING

Name of ~~Director~~ or Company Secretary

21/12/2022
Date of signing



SHIRE OF GOOMALLING

Office address: 32 Quinlan Street, Goomalling WA 6460

Postal address: PO Box 118, Goomalling WA 6460

Phone: 9629 1101 Email: goshire@goomalling.wa.gov.au

APPLICATION FOR DEVELOPMENT APPROVAL

Owner Details		
Name: Co-operative Bulk Handling Ltd	ABN (if applicable): 29 256 604 947	
Address: Level 6 240 St Georges Terrace Perth WA		Postcode: 6000
Phone: (work): 08 9216 6061 (home): (mobile):	Fax:	E-mail: timothy.roberts@cbh.com.au
Contact person for correspondence: Timothy Roberts		
Signature: 	Date: 27 July 2022	
Signature:	Date:	
<i>The signature of the owner(s) is required on all applications. This application will not proceed without that signature. For the purposes of signing this application an owner includes the persons referred to in the Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 clause 62(2)</i>		

Applicant Details (if different from owner)		
Name: As above		
Address:		Postcode:
Phone: (work): (home): (mobile):	Fax:	E-mail:
Contact person for correspondence:		
The information and plans provided with this application may be made available by the local government for viewing in connection with the application. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Signature:	Date:	

Property Details		
Lot No: 200	House/Street No:	Location No:
Diagram or Plan No: 416028	Certificate of Title Vol. No: 4008	Folio: 309
Title encumbrances (e.g. easements, restrictive covenants):		
Street name: Konnongorring West Road	Suburb: Konnongorring	
Nearest street intersection: Northam-Pithara Road		

Proposed Development	
Nature of development: Additions to an existing Grain Handling & Storage Facility	
Is an exemption from development claimed for part of the development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what is the exemption for:	
Description of proposed works and/or land use: - 2 x 1.8m high 230m x 35m 30,130 tonnes bulkheads; - 2 x 500tph drive-over-grid stackers; and - Associated internal roads and drainage basin works.	
Description of exemption claimed (if relevant):	
Nature of any existing buildings and/or land use: Grain Handling & Storage Facility	
Approximate cost of proposed development: \$1,050,000	
Estimated time of completion: 4 weeks following approval	
OFFICE USE ONLY	
Acceptance Officer's initials:	Date received:
Local Government reference no:	



SHIRE OF GOOMALLING

Office address: 32 Quinlan Street, Goomalling WA 6460

Postal address: PO Box 118, Goomalling WA 6460

Phone: 9629 1101 Email: goshire@goomalling.wa.gov.au

APPLICATION FOR DEVELOPMENT APPROVAL

Owner Details		
Name: Co-operative Bulk Handling Ltd		ABN (if applicable): 29 256 604 947
Address: Level 6 No. 240 St George's Terrace, Perth, WA		Postcode: 6000
Phone: (work): 08 9216 6061 (home): (mobile):	Fax:	E-mail: timothy.roberts@cbh.com.au
Contact person for correspondence: Timothy Roberts		
Signature: 		Date: 04/07/2023
Signature:		Date:
<i>The signature of the owner(s) is required on all applications. This application will not proceed without that signature. For the purposes of signing this application an owner includes the persons referred to in the Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 clause 62(2)</i>		

Applicant Details (if different from owner)		
Name: As Above.		
Address:		Postcode:
Phone: (work): (home): (mobile):	Fax:	E-mail:
Contact person for correspondence:		
The information and plans provided with this application may be made available by the local government for viewing in connection with the application. Yes		
Signature:		Date:

Property Details		
Lot No: 200	House/Street No:	Location No:
Diagram or Plan No: 416028	Certificate of Title Vol. No: 4008	Folio: 309
Title encumbrances (e.g. easements, restrictive covenants):		
Street name:	Suburb: Konnongorring	
Nearest street intersection: Northam-Pithara Road & Dowerin-Konnogorring Road		

Proposed Development	
Nature of development:	Amended to Approved Development Application. Amendment to Condition 2 seeking extension of time to 21 September 2027.
Is an exemption from development claimed for part of the development? No If yes, what is the exemption for:	
Description of proposed works and/or land use:	2 x open storage bulkheads with a storage capacity of 32.750 tonnes per bulkhead. Unsealed internal roads to and around grain receipt and storage facilities connected to existing internal roads and storm water drains around the internal roads connected to the existing storm water basin.
Description of exemption claimed (if relevant):	
Nature of any existing buildings and/or land use:	Existing Grain Handling & Storage Facility
Approximate cost of proposed development:	Already Constructed
Estimated time of completion:	Already Constructed
OFFICE USE ONLY	
Acceptance Officer's initials:	Date received:
Local Government reference no:	



Shire of Goomalling

Office Address: 32 Quinlan Street, Goomalling

Postal Address: PO Box 118, Goomalling WA 6460

Telephone: (08) 9629 1101 Facsimile: (08) 9629 1017

All communications to be addressed to the Chief Executive Officer

Est. 1895

In reply please quote:

Our Ref : PB22032

***** VIA EMAIL *****

17th June 2022

Mr Timothy Roberts,
Specialist Regulatory Approvals – Government & Industry Relations
Level 6 / 240 St Georges Terrace,
PERTH WA 6000

Dear Tim,

Thank-you for your phone conversation and email requesting that the Shire of Goomalling extend the period of time allowed for the temporary storage development approved for last years harvest at the Konnongorring receival facility.

I advise that the Shire agrees to this extension for a 12 month period which will expire on 30 June 2023. I note that you letter requests the removal of Condition 2 altogether to make the storage permanent.

Given that CBH is considering its long term options at this site, it is our feeling that this can be considered if or when you submit a development application for an enhanced facility or we would consider removing or extending expiry date should further development not be undertaken.

Enclosed is our invoice for \$295.00 for determining a change to a development application as per our Schedule of Fees and Charges. The extension of this timeframe will commence at the date that payment is received.

Yours faithfully

PETER BENTLEY
CHIEF EXECUTIVE OFFICER



Shire of Goomalling

Office Address: 32 Quinlan Street, Goomalling

Postal Address: PO Box 118, Goomalling WA 6460

Telephone: (08) 9629 1101 Facsimile: (08) 9629 1017

All communications to be addressed to the Chief Executive Officer

Est. 1895

In reply please quote:

Our Ref : PB21056

12 August 2021

***VIA Email *** bradley.ashworth@cbh.com.au

Bradley Ashworth
Manager – Project Delivery
Co-Operative Bulk Handling Ltd

Dear Mr Ashworth

Application for Development Approval – Proposed temporary grain receipt and storage facility – Emergency Bulkheads – Lot 200 on Plan 416028 Konnongorring West Road, Konnongorring

I refer to your recent Development Application regarding the above. I can advise that the Shire of Goomalling has conditionally approved the Development Application with the notice of decision attached.

It should be noted that this is a development approval only although I do not believe that a Building Permit will be required.

Please feel free to contact me should you wish to clarify or discuss.

Yours faithfully

PETER BENTLEY
CHIEF EXECUTIVE OFFICER

Shire of Goomalling

Planning and Development Act 2005

Notice of determination on application for development approval

Location: Konnongorring West Road, Konnongorring	
Description of proposed development: Temporary grain receipt and storage facility – emergency bulkheads	
Lot: 200	Plan/Diagram: 416028
Vol. No: In order for dealings	Folio No: In order for dealings
Application date: 29/7/2021	Received on: 29/7/2021

The application for development approval is approved subject to the following conditions:

1. The development hereby approved must be carried out in accordance with the submitted plans and specifications (addressing all conditions) or otherwise amended by the Shire and these shall not be altered and/or modified without the prior knowledge and written consent of the Shire.
2. This temporary development approval is valid until 30 June 2022.
3. The Traffic Impact Statement is to be implemented, to the satisfaction of the Shire, prior to receiving grain for harvest. In particular, actions resulting from Section 5 of the Traffic Impact Statement are to be suitably implemented.
4. The applicant shall implement the submitted Stormwater Management Plan, to the satisfaction of the Shire, prior to receiving grain for harvest.
5. The applicant shall monitor any dust generated by the works and use, approved by this application and implement suitable measures in accordance with any relevant Environmental Protection Authority and Department of Water and Environmental Regulation regulations, policies, guidance statements or guidelines to ensure any dust impacts are appropriately managed and controlled.

Advice

- A) As outlined in section 4.7 of the Traffic Impact Statement, the applicant is encouraged to work with the rail operator to either cease train movements during harvest and/or to undertake a risk assessment to determine if the sight distance deficiency near the rail crossing is acceptable.
- B) The noise generated by any activities on-site including machinery motors or vehicles shall not exceed the levels as set out under the *Environmental (Noise) Regulations 1997*.
- C) The applicant is encouraged to prepare and implement a vermin management plan.
- D) The applicant is reminded of their obligation to ensure compliance with the Shire of Goomalling Annual Firebreak Notice as this applies specifically to all rural land in the Shire to help guard against potential bushfire risk.

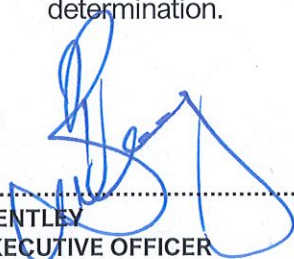
Date of determination: 12 August 2021

Note 1: If the development the subject of this approval is not substantially commenced within a period of 2 years, or another period specified in the approval after the date of the determination, the approval will lapse and be of no further effect.

Note 2: Where an approval has so lapsed, no development must be carried out without the further approval of the local government having first been sought and obtained.

Note 3: If an applicant or owner is aggrieved by this determination there is a right of review by the State Administrative Tribunal in accordance with the *Planning and Development Act 2005* Part 28. An application must be made within 28 days of the determination.

Signed:



Dated: 12 August 2021

.....
PETER BENTLEY
CHIEF EXECUTIVE OFFICER



EXISTING ENTRY WEIGHBRIDGE

EXISTING DRAINAGE BASIN

PROPOSED DRAINAGE BASIN

INSTALL CULVERT

PROPOSED DRAINAGE BASIN

EXISTING EXIT WEIGHBRIDGE

EXISTING DRAINAGE BASIN

EXISTING MARSHALLING AREA

EXISTING DRAINAGE BASIN

KONNONGORRING WEST ROAD

NORTHAM - PITHARA ROAD

SITE ENTRY AND EXIT

DRAWING LEGEND

- TRAFFIC MOVEMENTS - TRUCKS FULL
- TRAFFIC MOVEMENTS - TRUCKS EMPTY
- LOT BOUNDARIES
- CBH SITE BOUNDARY
- CBH RAIL LEASE BOUNDARY
- PROPOSED CBH BOUNDARY
- OHP
- UGP
- UWG
- C
- UNDERGROUND STORMWATER PIPES
- RAIL LINE
- EPA INDUSTRIAL/SENSITIVE LAND USE SEPARATION DISTANCE - 500m RADIUS

STORAGE CAPACITIES

EXISTING SITE STORAGE

'E' TYPE STORAGE	HOR/01	Capacity
INT STEEL FRAME OBH	(01)	35,625t
INT STEEL FRAME OBH	(02)	33,125t
LOW STEEL FRAME OBH	(03)	15,700t
LOW STEEL FRAME OBH	(04)	15,700t
LOW STEEL FRAME OBH	(05)	26,000t
LOW STEEL FRAME OBH	(06)	25,000t
INT STEEL FRAME OBH	(07)	21,600t
INT STEEL FRAME OBH	(08)	31,200t
INT STEEL FRAME OBH	(09)	31,200t
INT STEEL FRAME OBH (TEMPORARY)	(97)	32,750t
INT STEEL FRAME OBH (TEMPORARY)	(98)	32,750t
INT STEEL FRAME OBH (TEMPORARY)	(99)	19,125t
TOTAL EXISTING STORAGE		340,175t

PROPOSED SITE STORAGE

INT (1.8m) STEEL FRAME OBH	(95)	30,130t
INT (1.8m) STEEL FRAME OBH	(96)	30,130t
TOTAL PROPOSED STORAGE		60,260t

TOTAL SITE STORAGE 400,435t

TOTAL INCREASE IN STORAGE 60,260t

HATCHING LEGEND

AREA OF NEW WORKS 32,000m²

PRELIMINARY ISSUE
DO NOT USE FOR CONSTRUCTION
DATE 21.07.22

1:2500 @ A1
15000 @ A3

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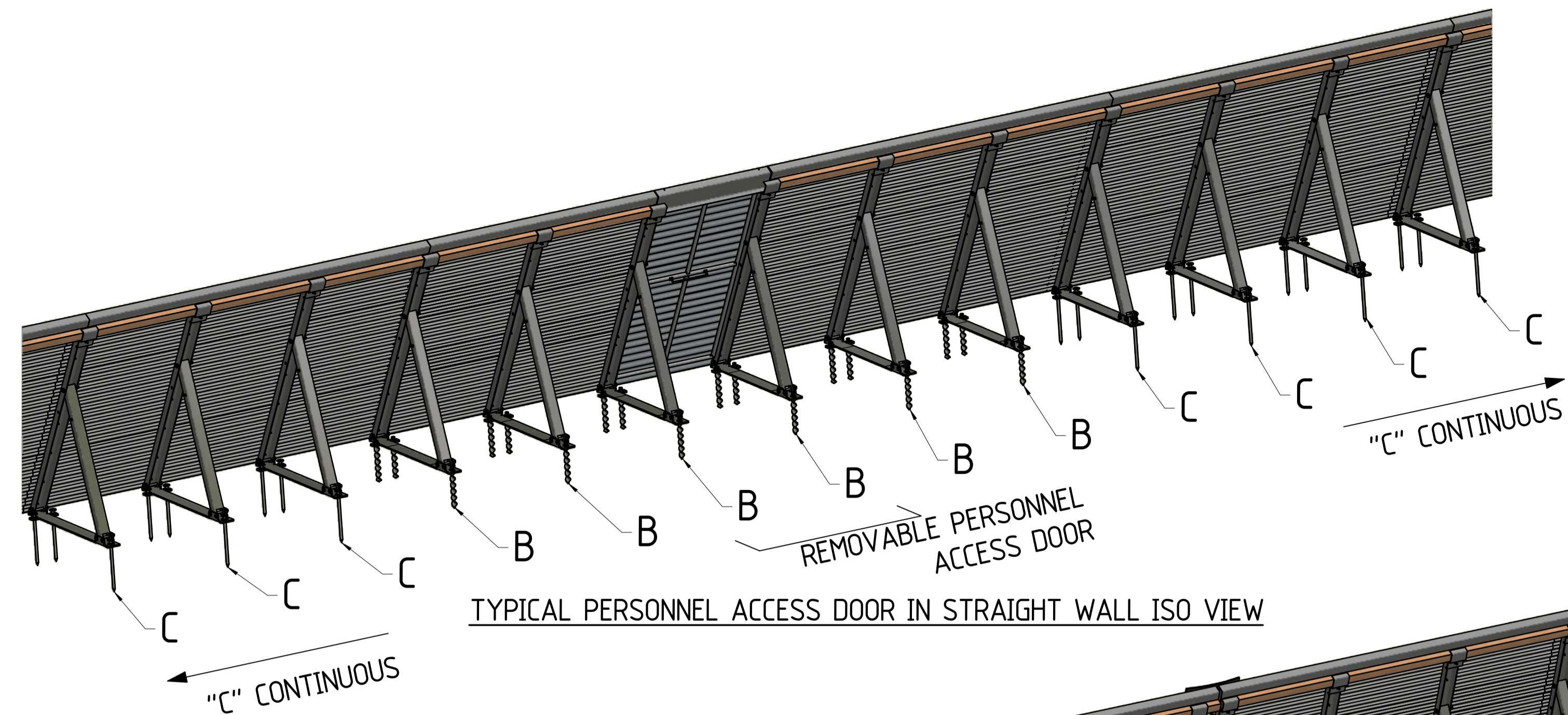
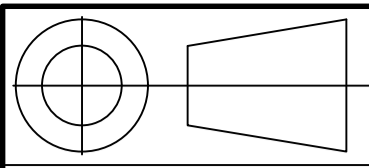


CBH GROUP
LEVEL 6
240 ST GEORGE'S TERRACE
PERTH W.A. 6000
PH (08) 9237 9600
FAX (08) 9322 3942

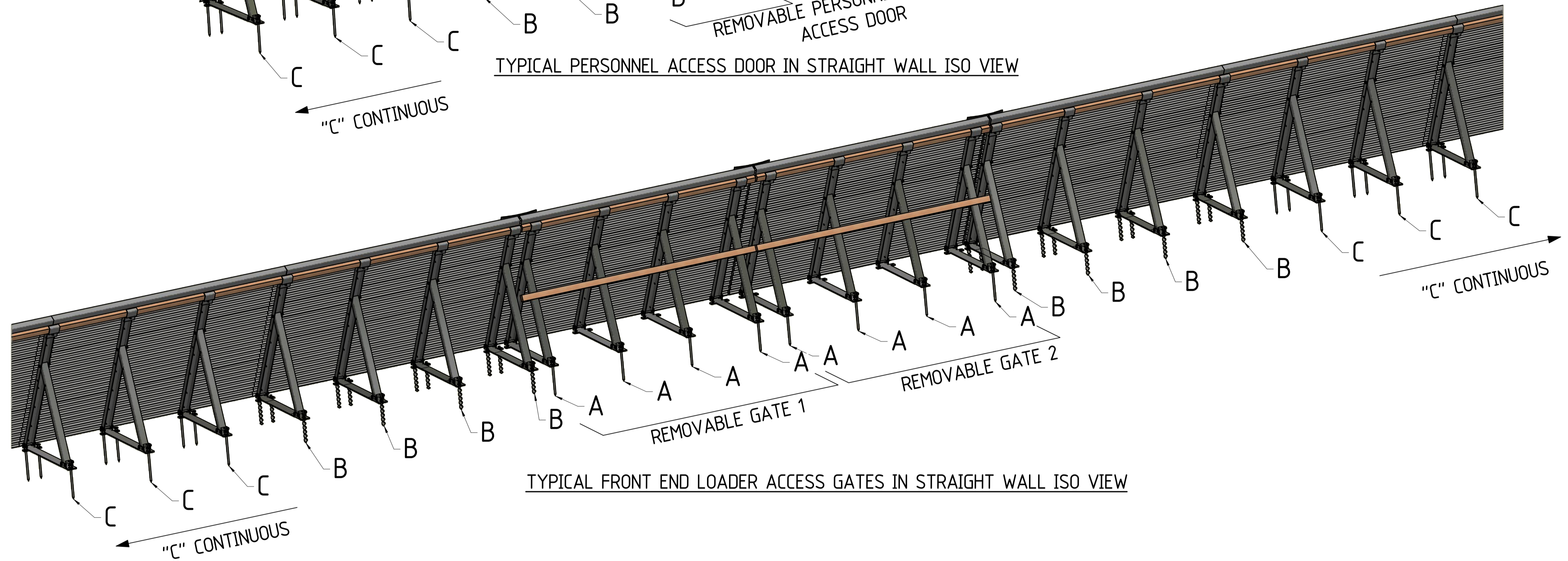
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SHEET	A1	CHECKED		
PROJECT		DESIGNED		
CONTRACT No.		DESIGN APPR		
		PROJECT APPR		

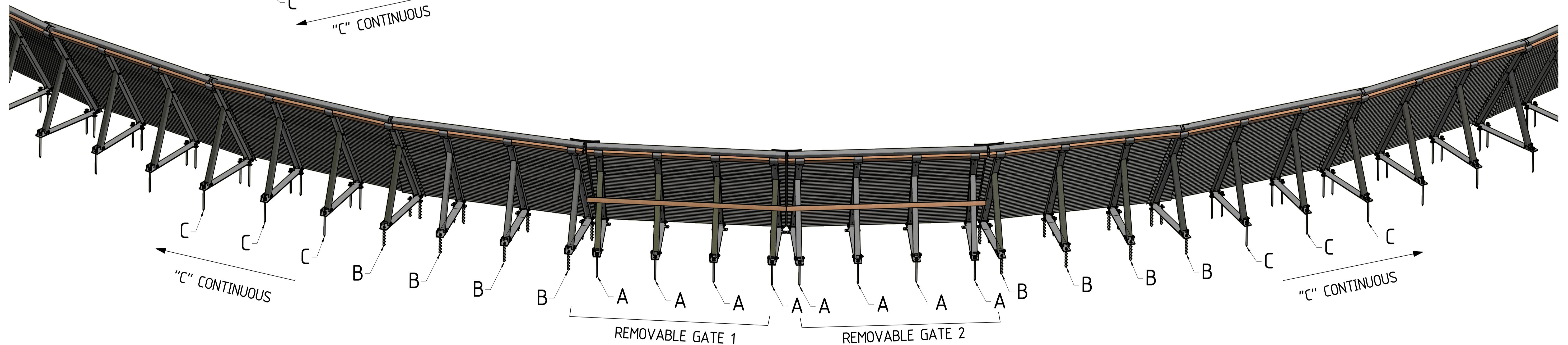
TITLE	KONNONGORRING PRE-FEASIBILITY STUDY 2022 EMERGENCY STORAGE CONCEPTUAL LAYOUT - OPTION 3		
DRG No.	358-ENG-CI-DCO-0024	SHEET	1 OF 1
REV.	A		



TYPICAL PERSONNEL ACCESS DOOR IN STRAIGHT WALL ISO VIEW



TYPICAL FRONT END LOADER ACCESS GATES IN STRAIGHT WALL ISO VIEW



TYPICAL FRONT END LOADER ACCESS GATES IN CURVED WALL ISO VIEW

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REF DRG No.	REFERENCE DRAWING TITLE	REV	DATE	REVISIONS	BY	CHK	APP	REV	DATE	REVISIONS	BY	CHK	APP	APPROVED

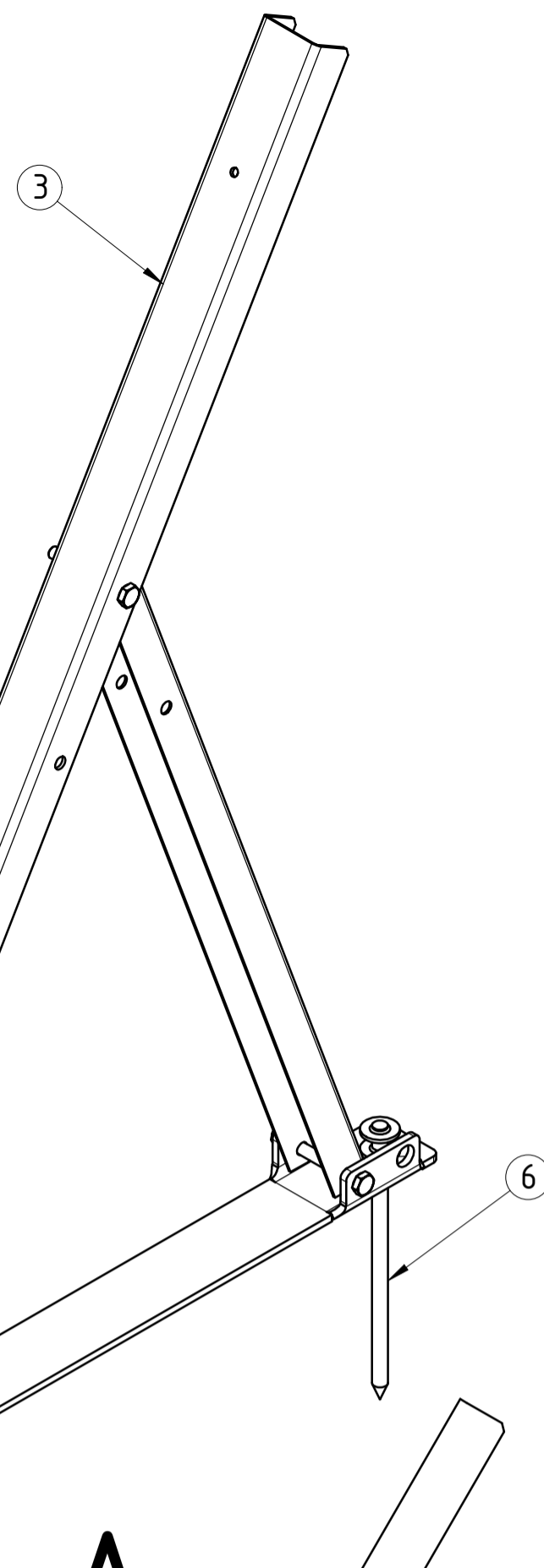
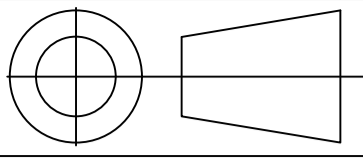
DRAWN	SCR 10/06/2020
CHECKED	LS 10/06/2020
ENGINEER	BC 11/06/2020
APPROVED	NH 11/06/2020

DRAWING TITLE
1.8m OPEN BULK HEAD
GENERAL ARRANGEMENT
ANCHORINGS LAYOUT

SITE	VARIOUS	SIZE	A1
PROJECT	STANDARD		
DRAWING No	S119-ENG-ST-DGA-0003	SHEET	2 OF 9
REV.	0		

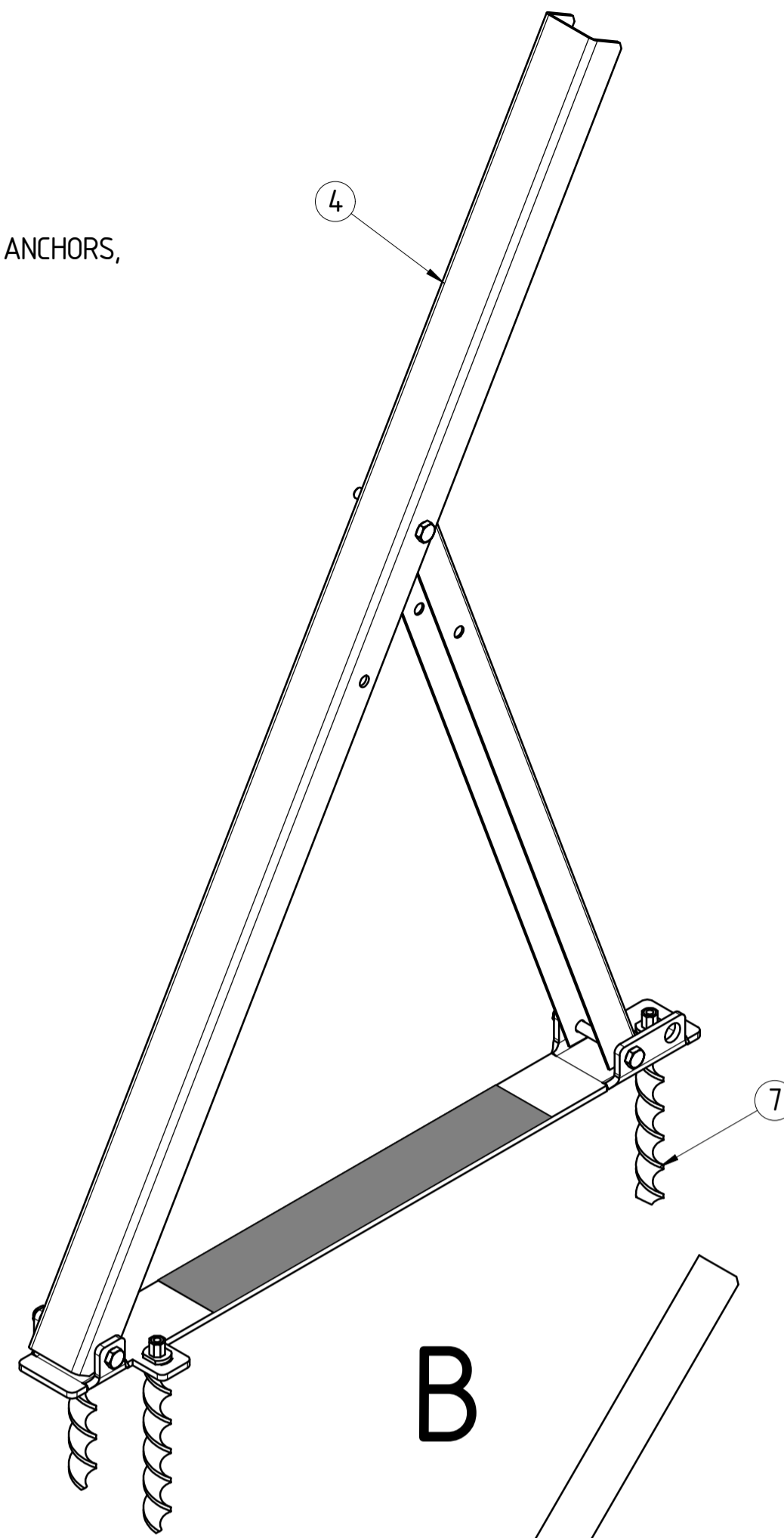
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0 10/06/2020 COPIED FROM S-119, ISSUED FOR CONSTRUCTION

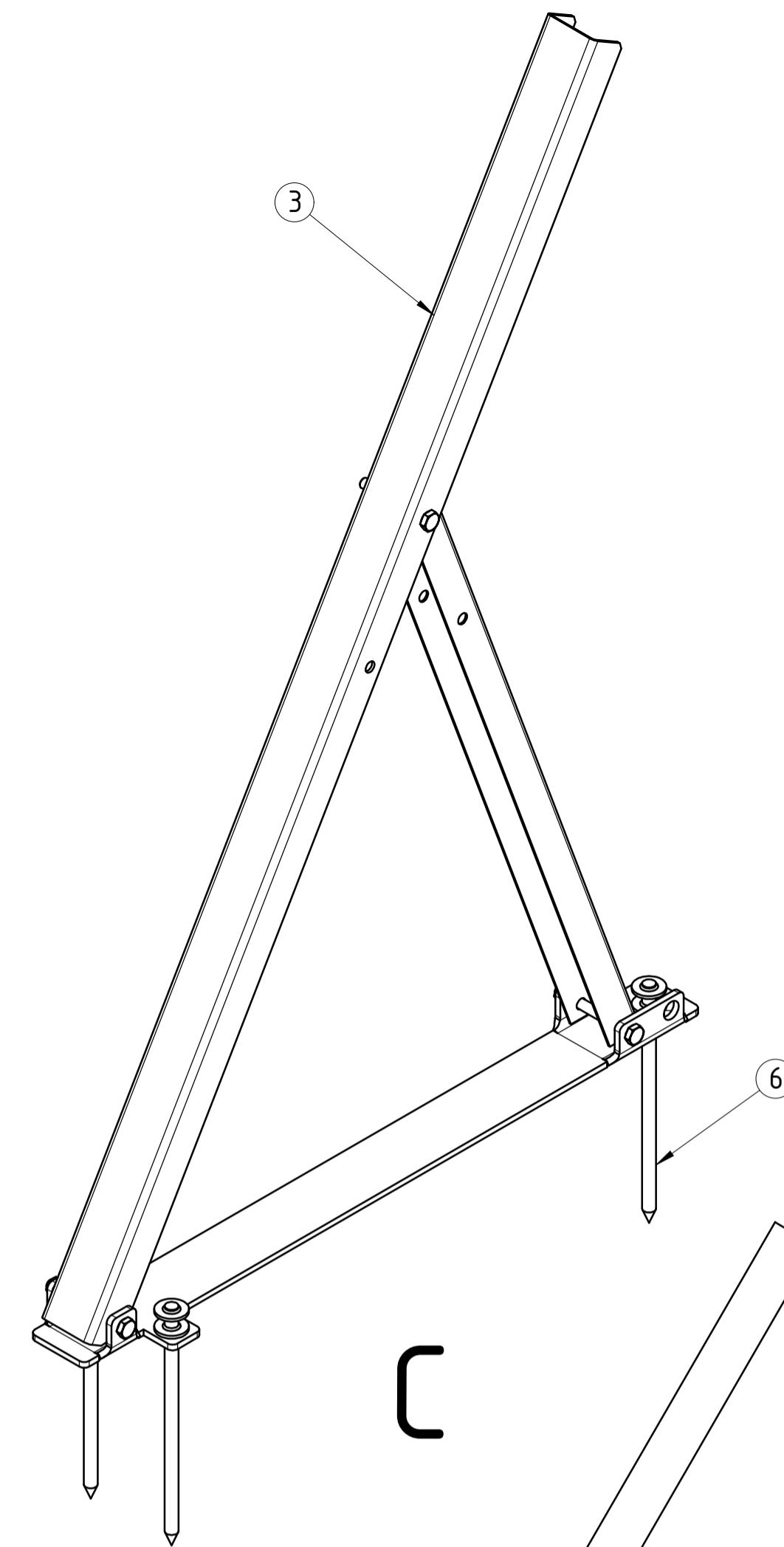


A

NOTES:
REMOVAL TOOL REQUIRED FOR SPIRAFIX ANCHORS,
M22 SPANNER/SOCKET,
HANDLE LENGTH TO SUIT CONDITIONS.



B



C

ARRANGEMENT 'A' NOTES:

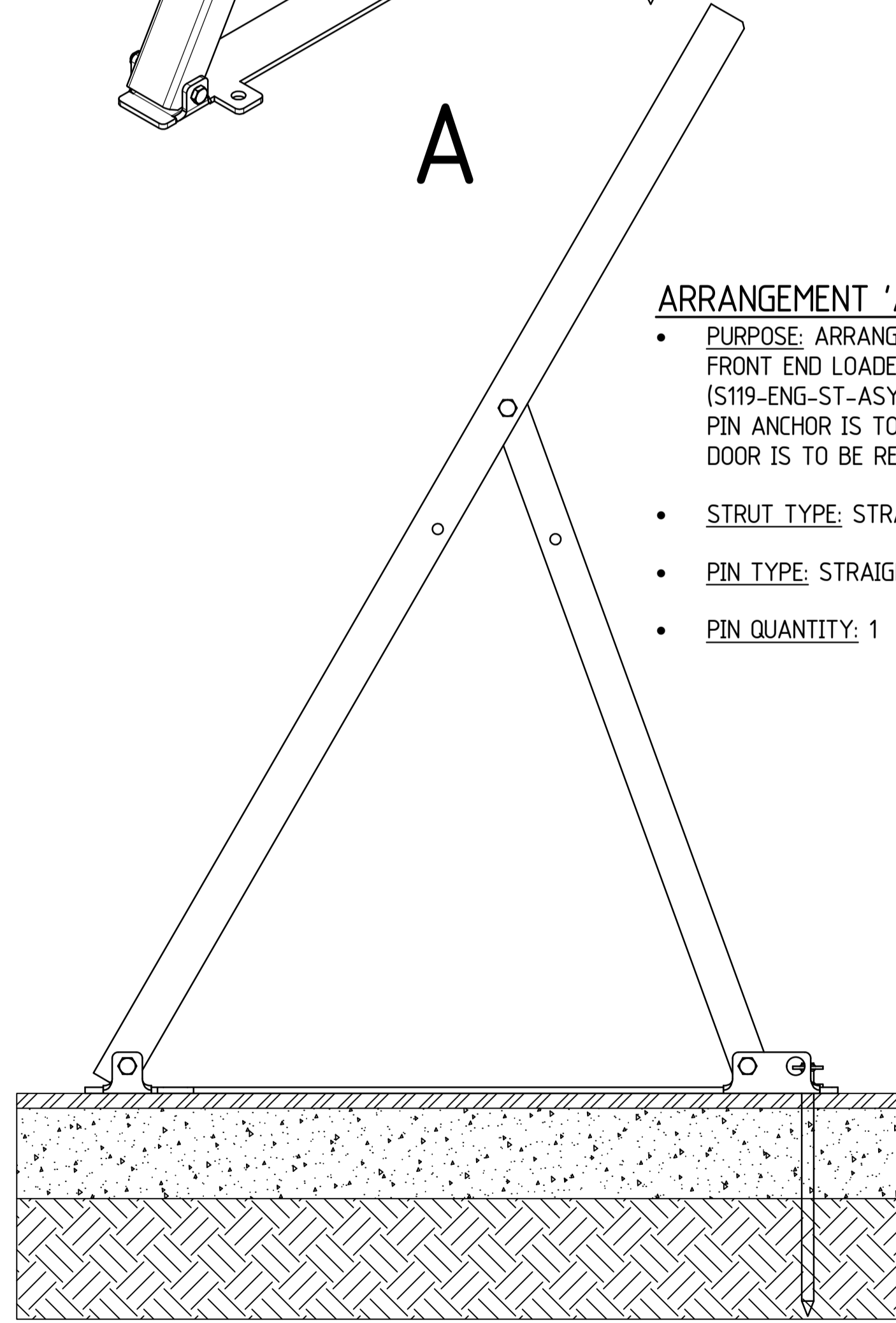
- PURPOSE: ARRANGEMENT 'A' IS USED IN THE FRONT END LOADER ACCESS GATE ASSEMBLY (S119-ENG-ST-ASY-0034). ONLY 1 STRAIGHT PIN ANCHOR IS TO BE INSTALLED AS THE DOOR IS TO BE REMOVABLE.
- STRUT TYPE: STRAIGHT PIN STRUT
- PIN TYPE: STRAIGHT PIN ANCHOR
- PIN QUANTITY: 1

ARRANGEMENT 'B' NOTES:

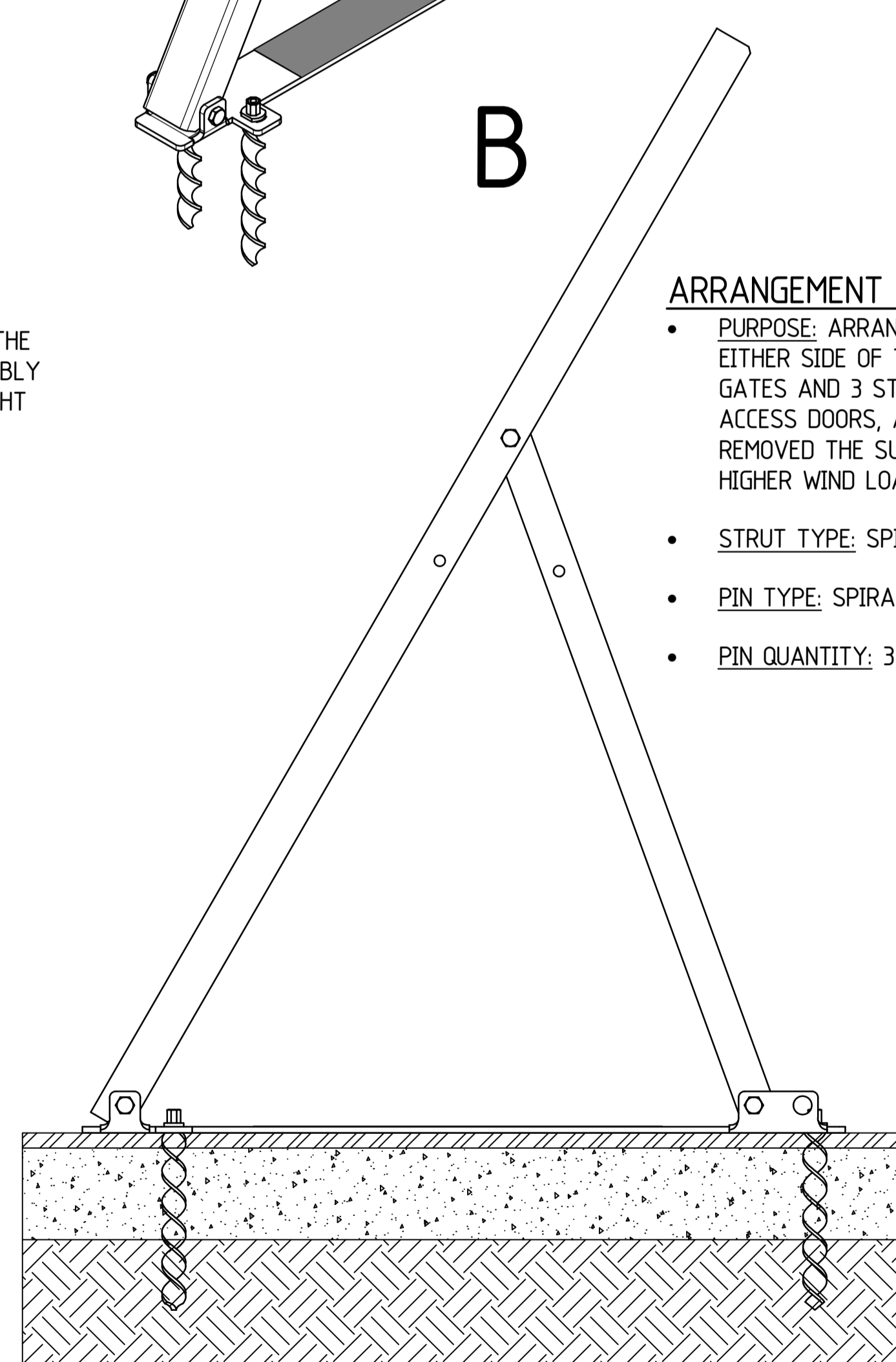
- PURPOSE: ARRANGEMENT 'B' IS USED 4 STRUTS EITHER SIDE OF THE FRONT END LOADER ACCESS GATES AND 3 STRUTS EITHER SIDE OF PERSONNEL ACCESS DOORS, AS WHEN THE GATES/DOORS ARE REMOVED THE SURROUNDING STRUTS EXPERIENCE HIGHER WIND LOADS.
- STRUT TYPE: SPIRAL PIN STRUT
- PIN TYPE: SPIRAL PIN ANCHOR
- PIN QUANTITY: 3

ARRANGEMENT 'C' NOTES:

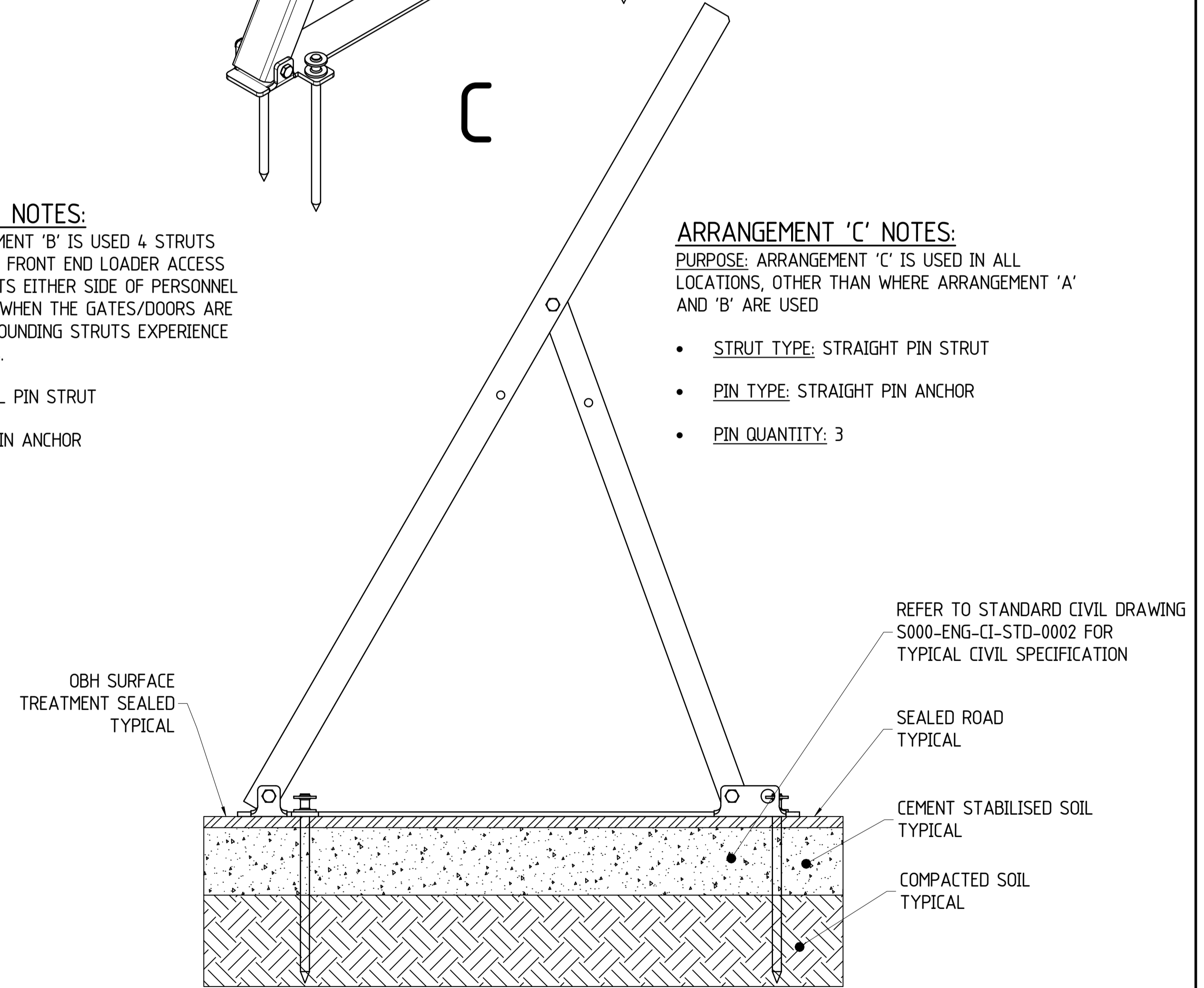
- PURPOSE: ARRANGEMENT 'C' IS USED IN ALL LOCATIONS, OTHER THAN WHERE ARRANGEMENT 'A' AND 'B' ARE USED
- STRUT TYPE: STRAIGHT PIN STRUT
- PIN TYPE: STRAIGHT PIN ANCHOR
- PIN QUANTITY: 3



A



B



C

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REFERENCE DRAWING TITLE

REV DATE

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BY

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DATE

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10/06/2020

DATE

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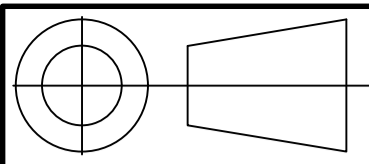
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CHECKED	LS	10/06/2020
ENGINEER	BC	11/06/2020
APPROVED	NH	11/06/2020

DRAWING TITLE
1.8m OPEN BULK HEAD
GENERAL ARRANGEMENT
TYPICAL ANCHORINGS

SITE
VARIOUS
PROJECT
STANDARD

DRAWING No
S119-ENG-ST-DGA-0003

SIZE
A1
SHEET
3 OF 9
REV.
0



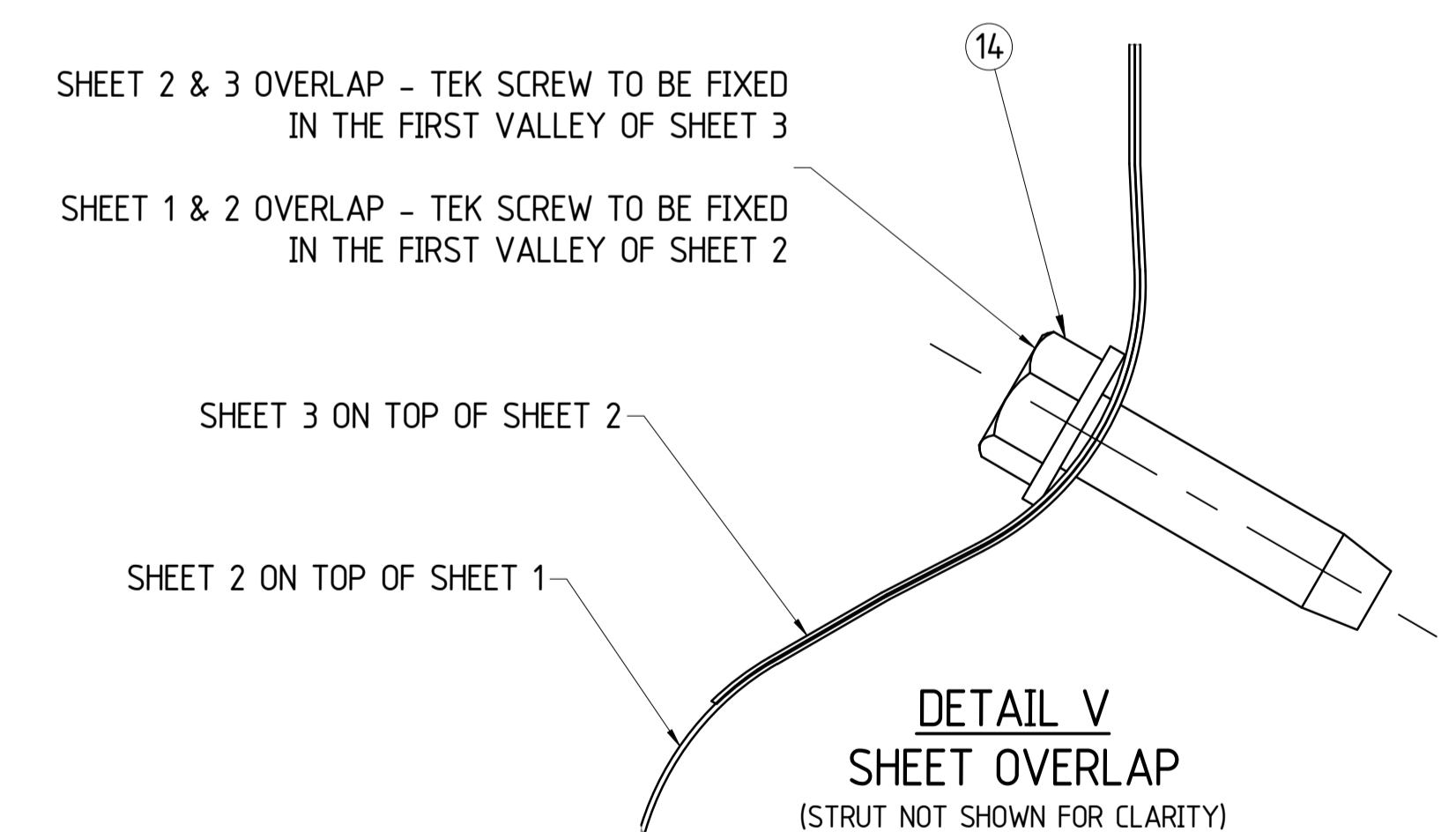
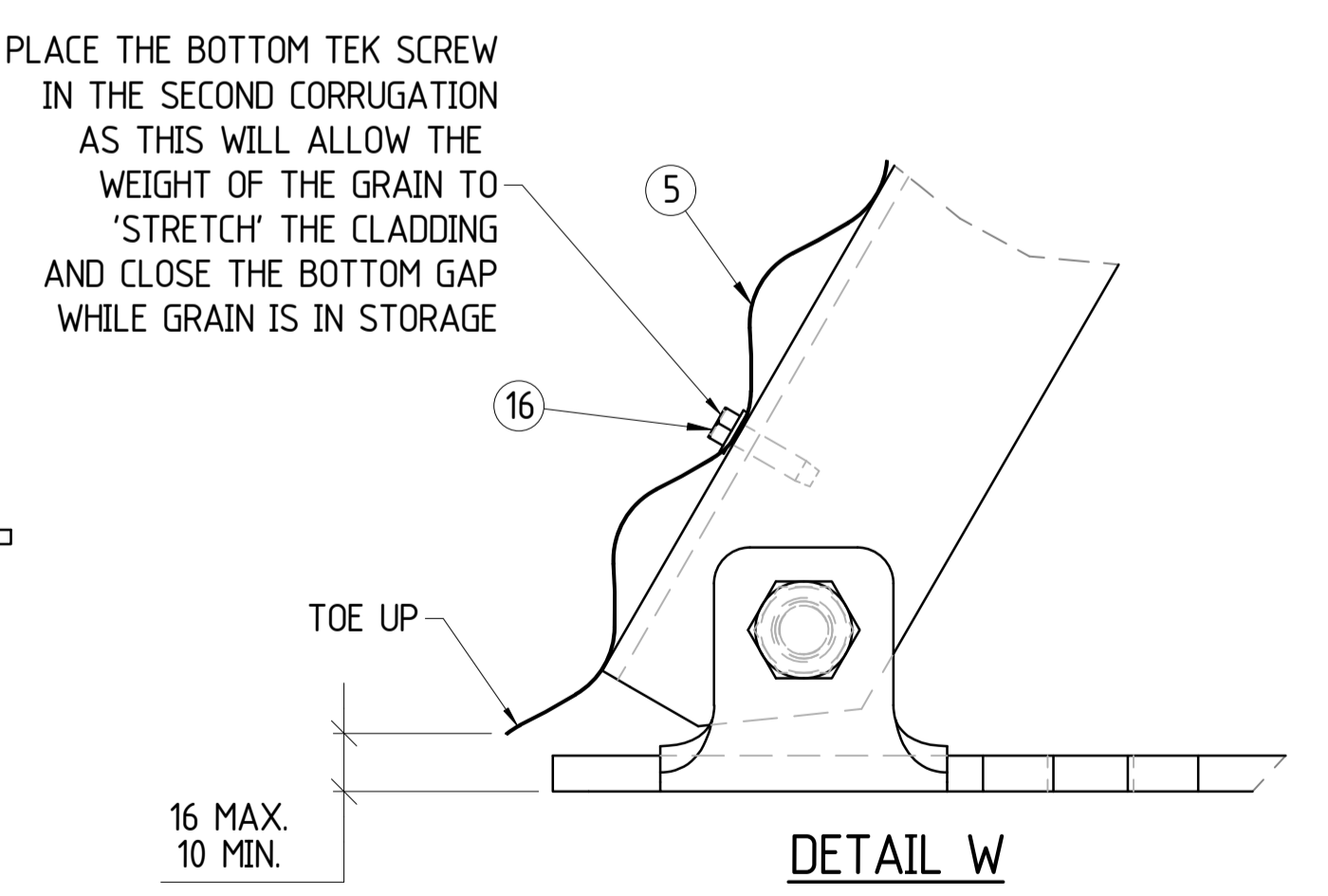
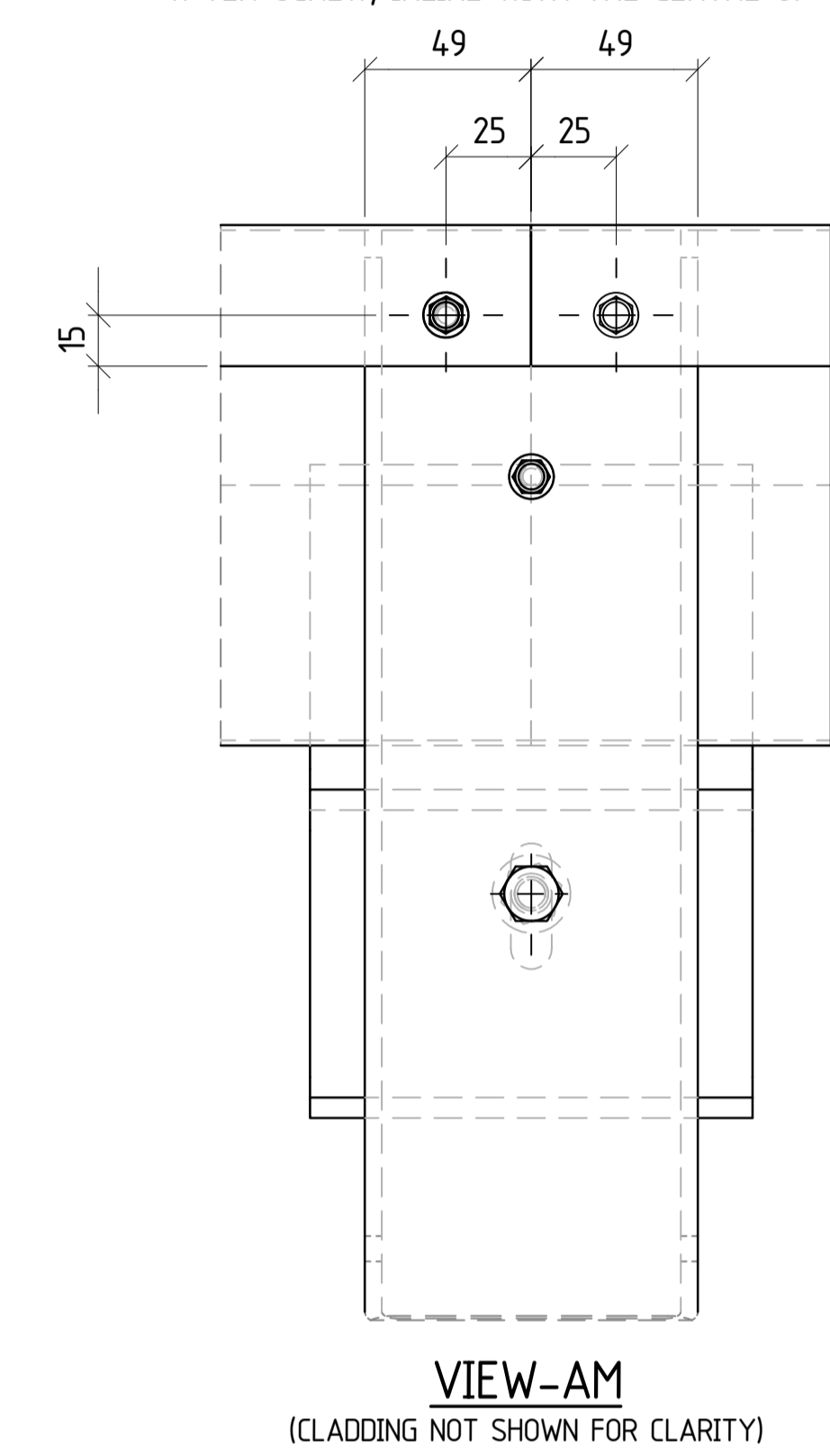
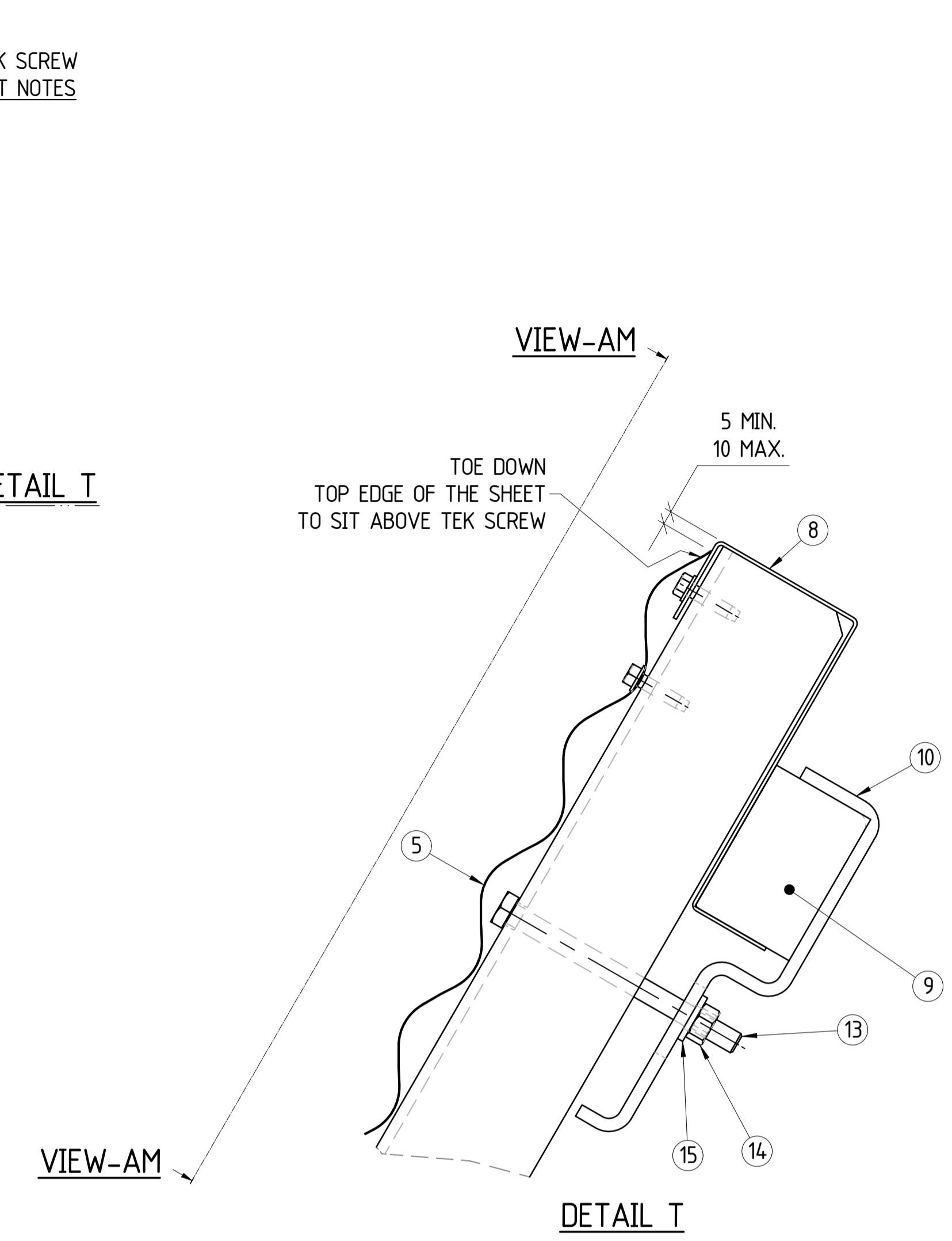
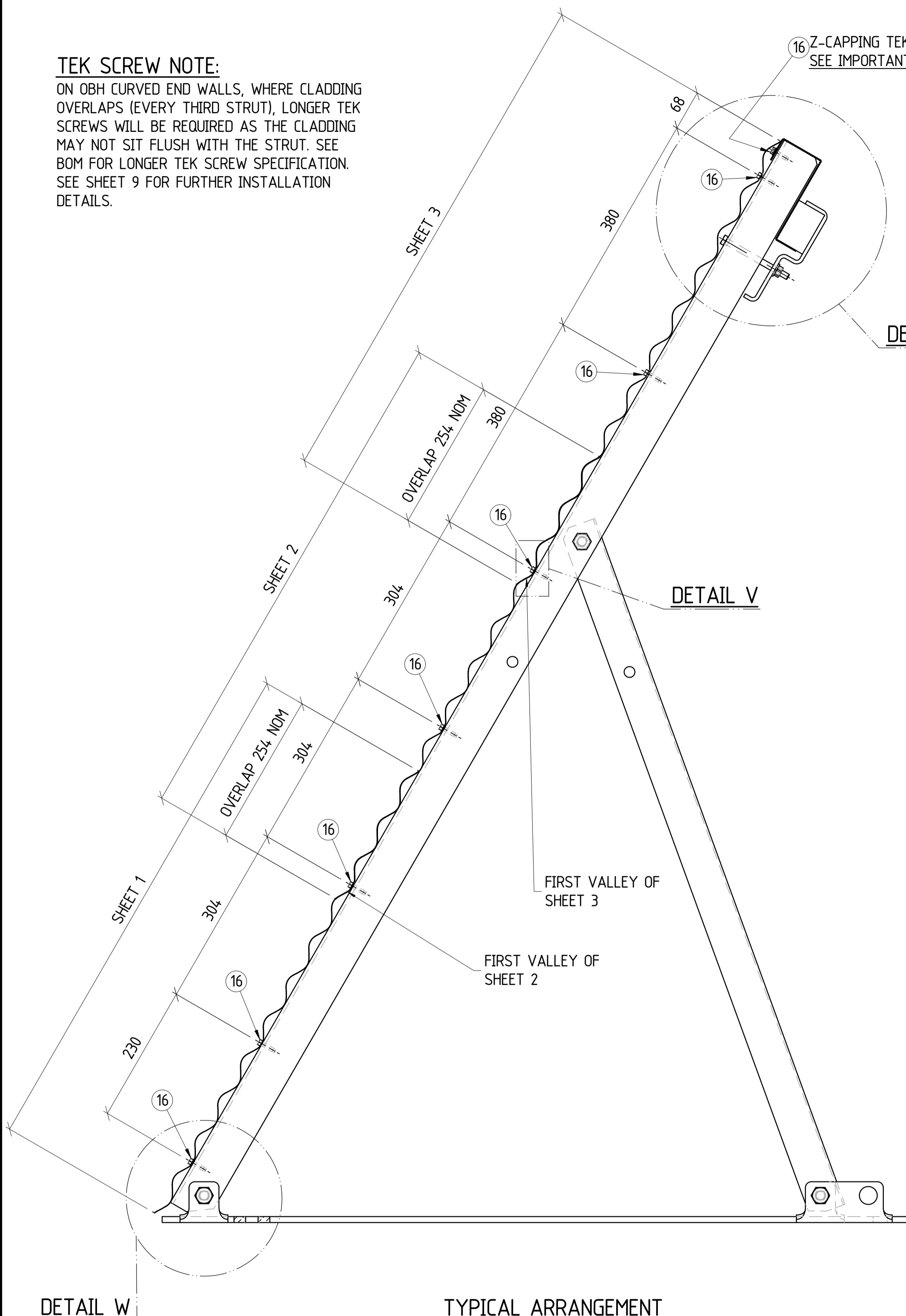
TEK SCREW NOTE:

ON OBH CURVED END WALLS, WHERE CLADDING OVERLAPS (EVERY THIRD STRUT), LONGER TEK SCREWS WILL BE REQUIRED AS THE CLADDING MAY NOT SIT FLUSH WITH THE STRUT. SEE BOM FOR LONGER TEK SCREW SPECIFICATION. SEE SHEET 9 FOR FURTHER INSTALLATION DETAILS.

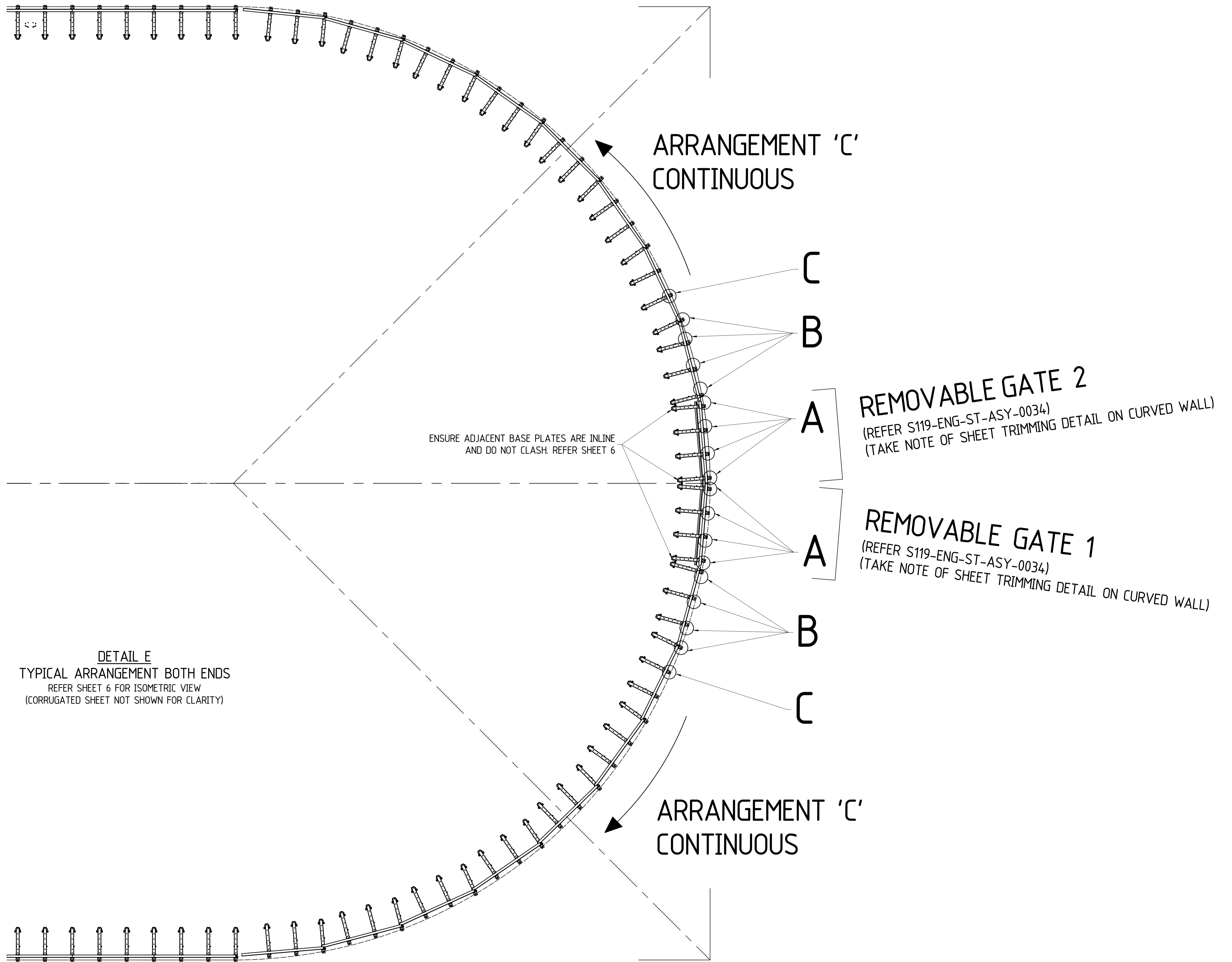
IMPORTANT NOTE:

TYPICAL ALL JOINTS, EXCEPT DOOR/GATE JOINTS:

- 'Z' CAPPING SHALL BUTT JOIN TO THE CENTRE LINE OF THE STRUT.
- ALL Z CAPPING MUST BE ALIGNED AS ACCURATELY AS POSSIBLE. ANY MIS-ALIGNMENT IN THE 'Z' CAPPING WILL CREATE SHARP EDGES, WHICH MAY DAMAGE THE OBH TARP. MAXIMUM 'Z' CAPPING MISALIGNMENT TO BE 2mm IN ALL DIRECTIONS.
- WHERE 'Z' CAPPING BUTT JOINS OVER A STRUT, FIX 'Z' CAP WITH 2 x TEK SCREWS, ONE IN EACH 'Z' CAP (SHOWN BELOW)
- WHERE 'Z' CAPPING PASSES OVER A STRUT, FIX 'Z' CAP WITH 1 x TEK SCREW, INLINE WITH THE CENTRE OF THE STRUT.



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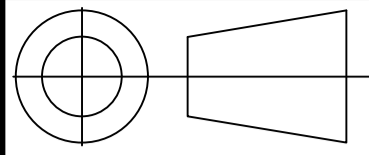
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DRAWING TITLE
1.8m OPEN BULK HEAD
GENERAL ARRANGEMENT
TYPICAL CURVED END WALL LAYOUT

SITE	VARIOUS	SIZE	A1
PROJECT	STANDARD		
DRAWING No	S119-ENG-ST-DGA-0003	SHEET	5 OF 9
REV.			0

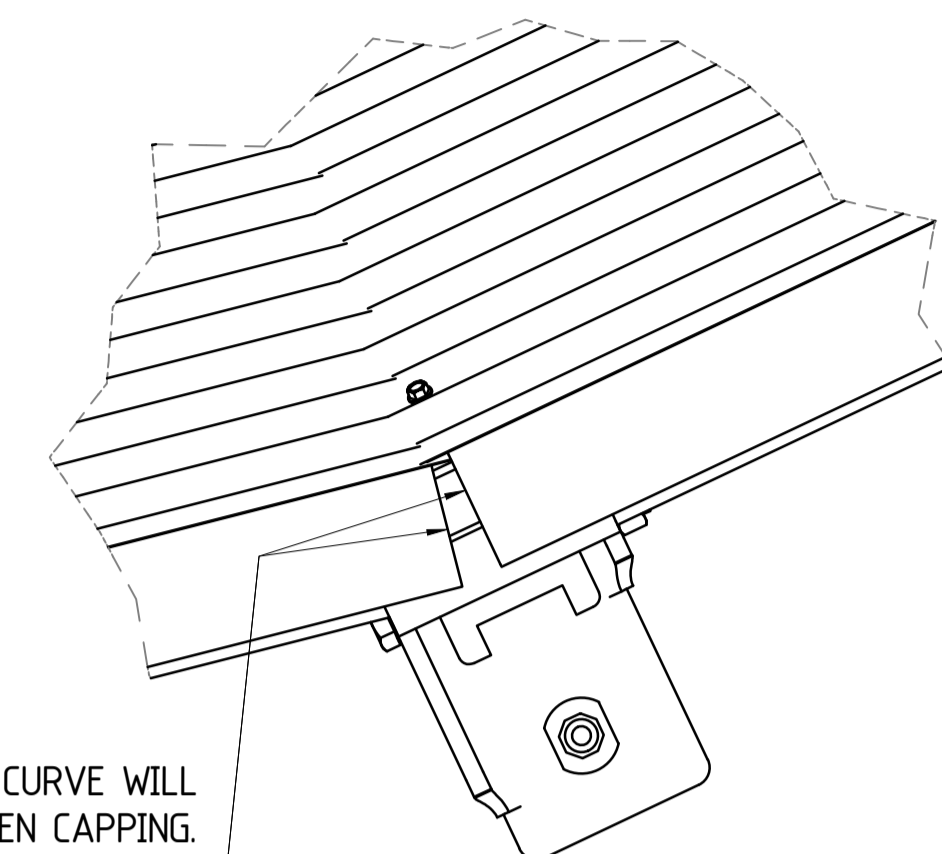
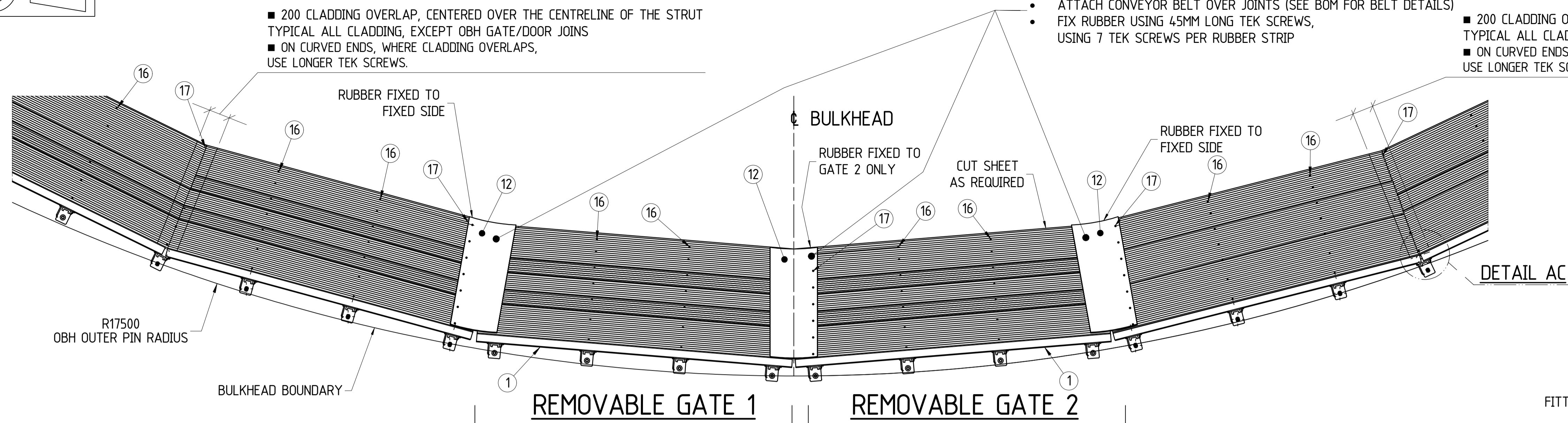
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TYPICAL RUBBER FIXINGS, BOTH ENDS

- ATTACH CONVEYOR BELT OVER JOINTS (SEE BOM FOR BELT DETAILS)
- FIX RUBBER USING 45MM LONG TEK SCREWS, USING 7 TEK SCREWS PER RUBBER STRIP

- 200 CLADDING OVERLAP, CENTERED OVER THE CENTRELINE OF THE STRUT
- TYPICAL ALL CLADDING, EXCEPT OBH GATE/DOOR JOINTS
- ON CURVED ENDS, WHERE CLADDING OVERLAPS, USE LONGER TEK SCREWS.



FITTING THE Z-CAPPING TO A CURVE WILL CREATE A GAP BETWEEN CAPPING. MINIMISE GAP AS MUCH AS POSSIBLE TO AVOID THE SHARP EDGES RIPPING THE OBH TARP. VERTICAL AND HORIZONTAL MISALIGNMENT SHOULD BE A MAXIMUM OF 2MM.

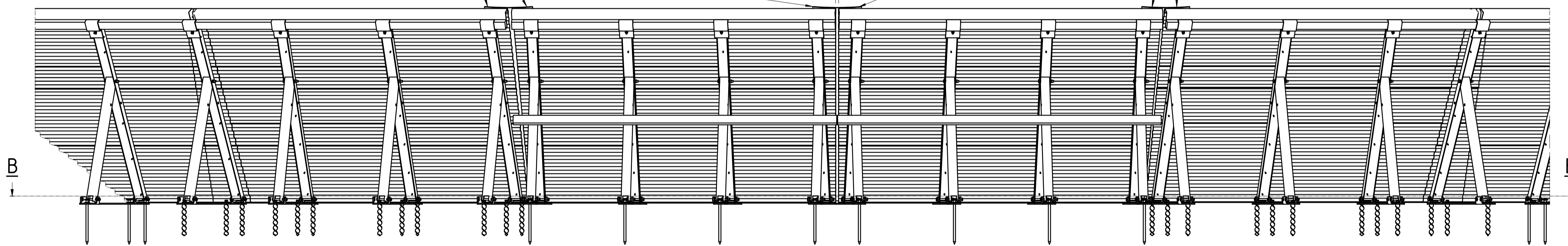
DETAIL AC

CLADDING, Z-CAPPING AND WOOD, ALL TRIMMED TO SUIT ON BOTH SIDES TO CREATE A BUTT JOIN BETWEEN THE FIXED WALL AND THE REMOVABLE GATE. REFER S119-ENG-ST-ASY-0003 FOR CLADDING TRIMMING DETAIL. MAX ALLOWABLE GAP BETWEEN BUTT JOINTS IS 20mm - TYPICAL ALL GATES

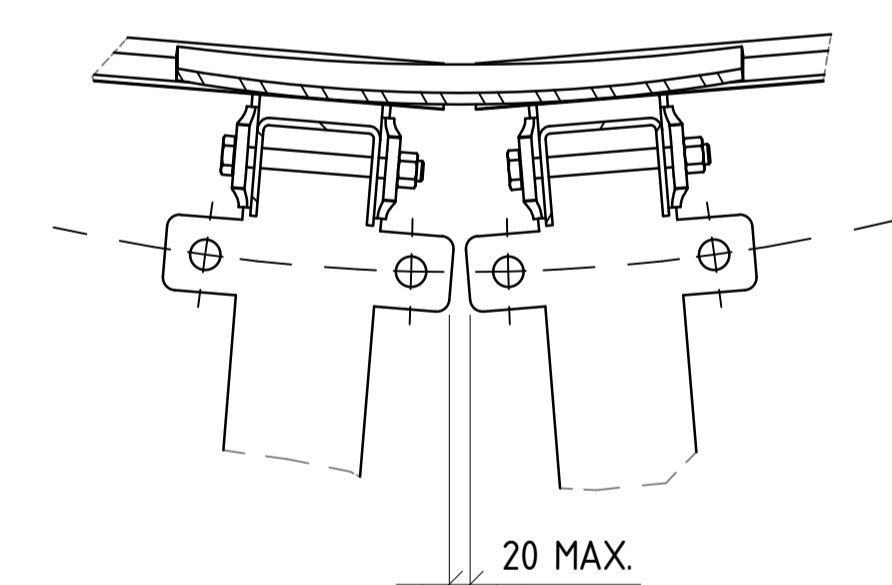
DETAIL A
FRONT END LOADER ACCESS GATES IN CURVED WALL
TYPICAL BOTH ENDS

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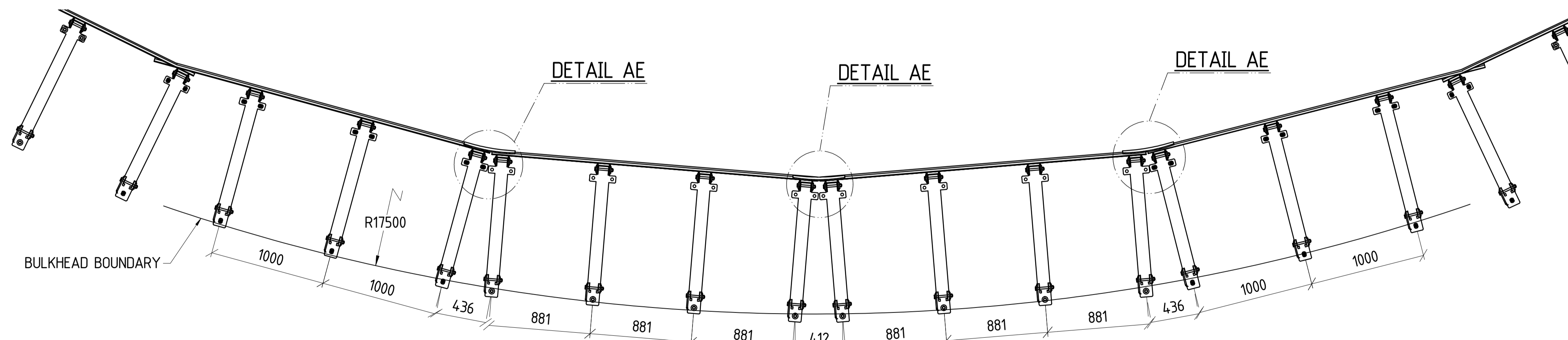
20 MAX. GAP
TYPICAL ALL ACCESS WAYS



ELEVATION



DETAIL AE
TYPICAL STRUT FOOT ALIGNMENT AT GATE JOINTS (PINS NOT SHOWN FOR CLARITY)



SECTION B
FRAMES FOOT PRINT

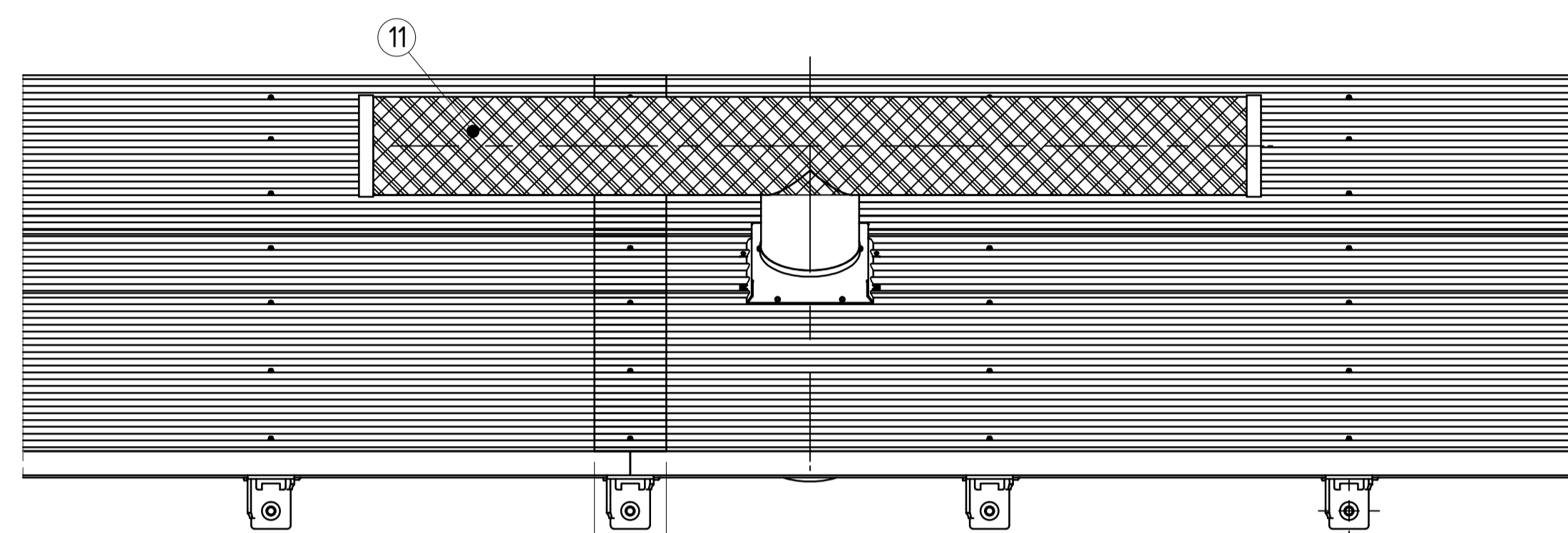
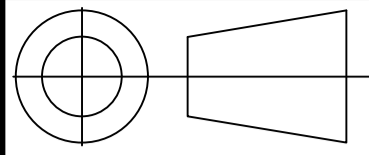
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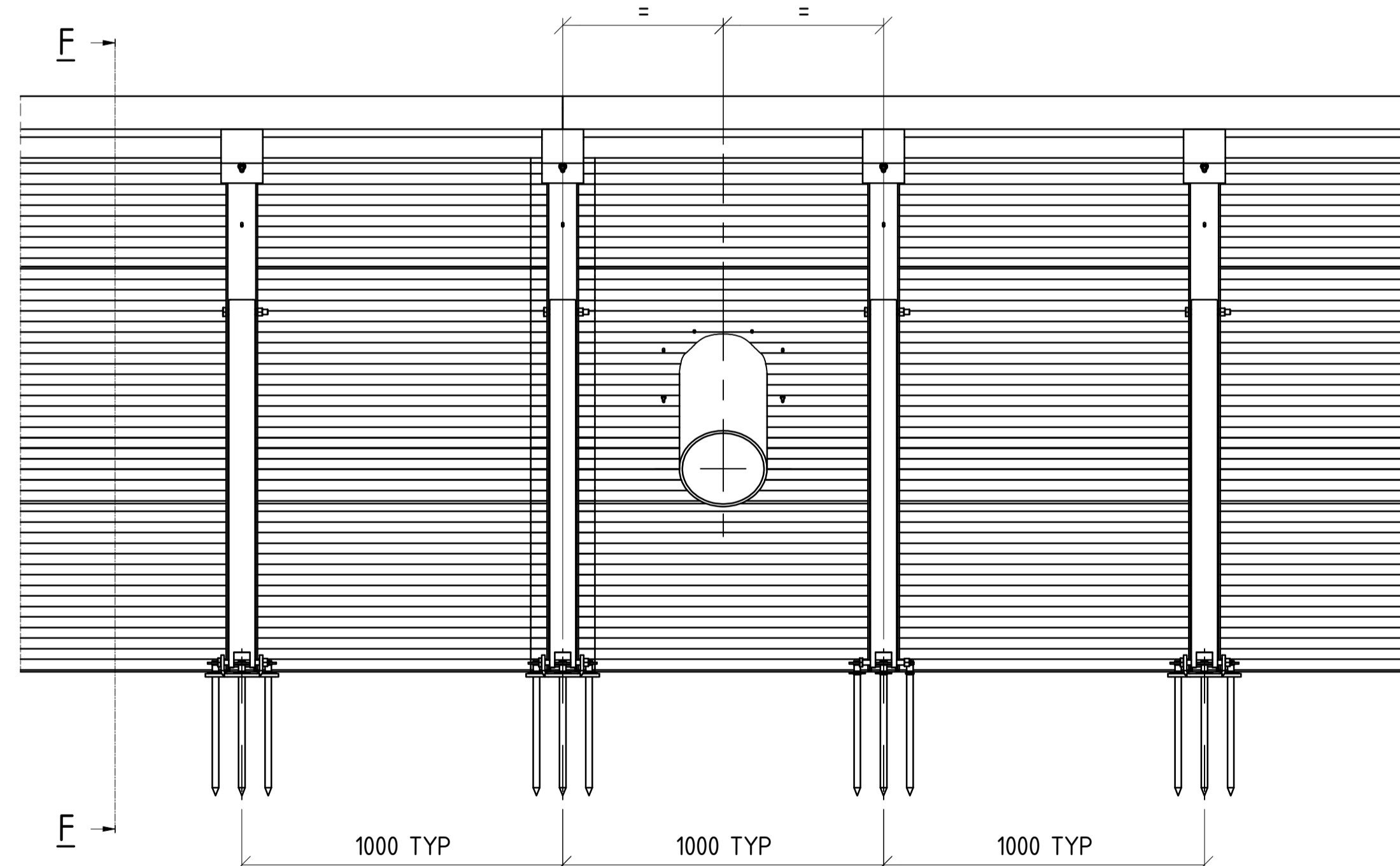
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DRAWING TITLE		SITE	
1.8m OPEN BULK HEAD		VARIOUS	
GENERAL ARRANGEMENT		PROJECT	
CURVED OBH OPENING DETAIL		STANDARD	
DRAWING No	SHEET	REV.	SIZE
S119-ENG-ST-DGA-0003	6 OF 9	0	A1

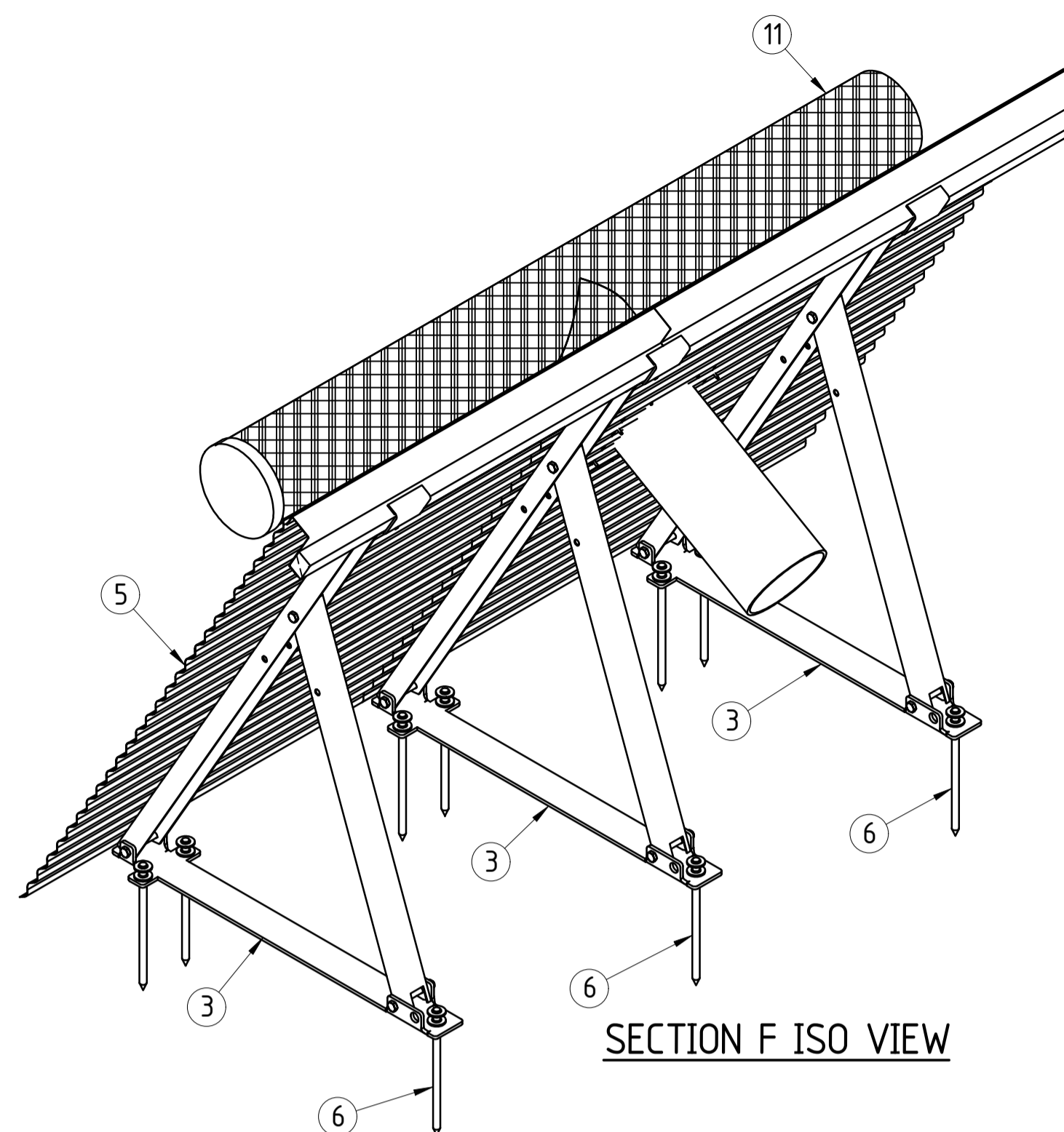


200 CLADDING OVERLAP, CENTERED OVER THE CENTRELINE OF THE STRUT
TYPICAL ALL CLADDING, EXCEPT OBH GATE/DOOR JOINS

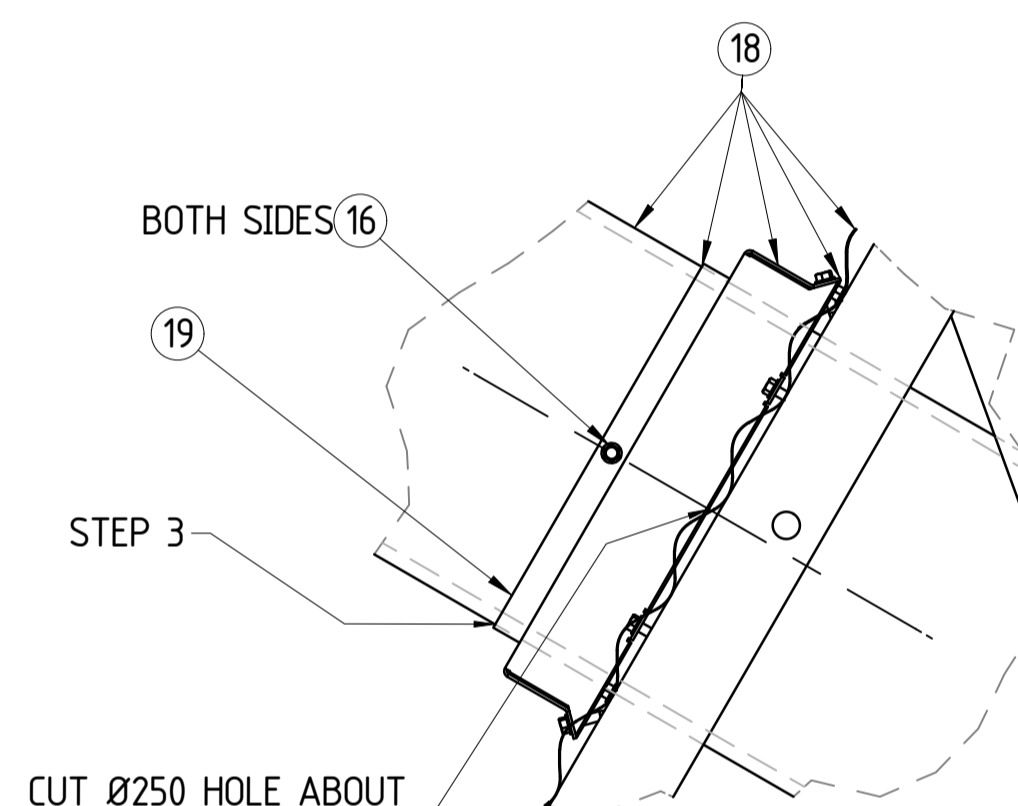
DETAIL B
'T' PIECE INSTALLATION DETAIL



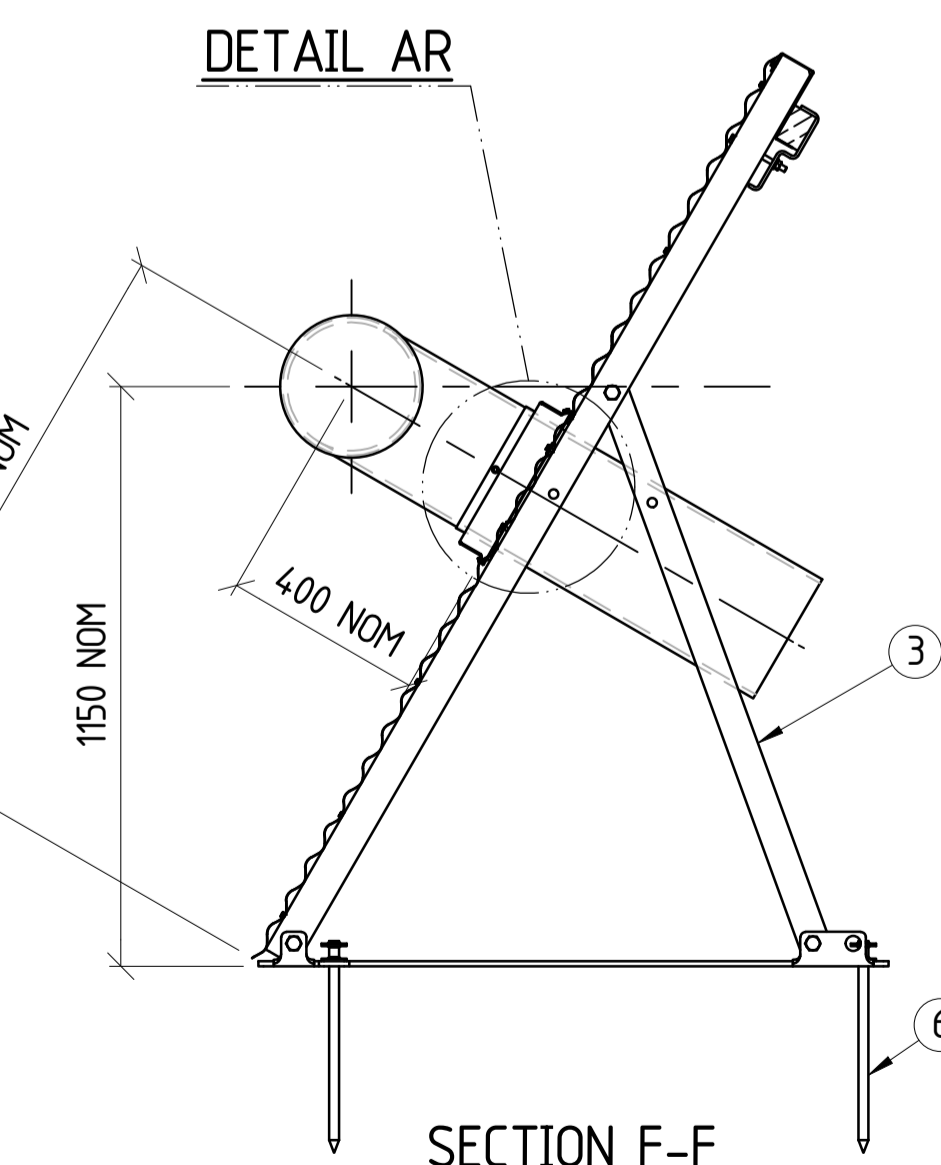
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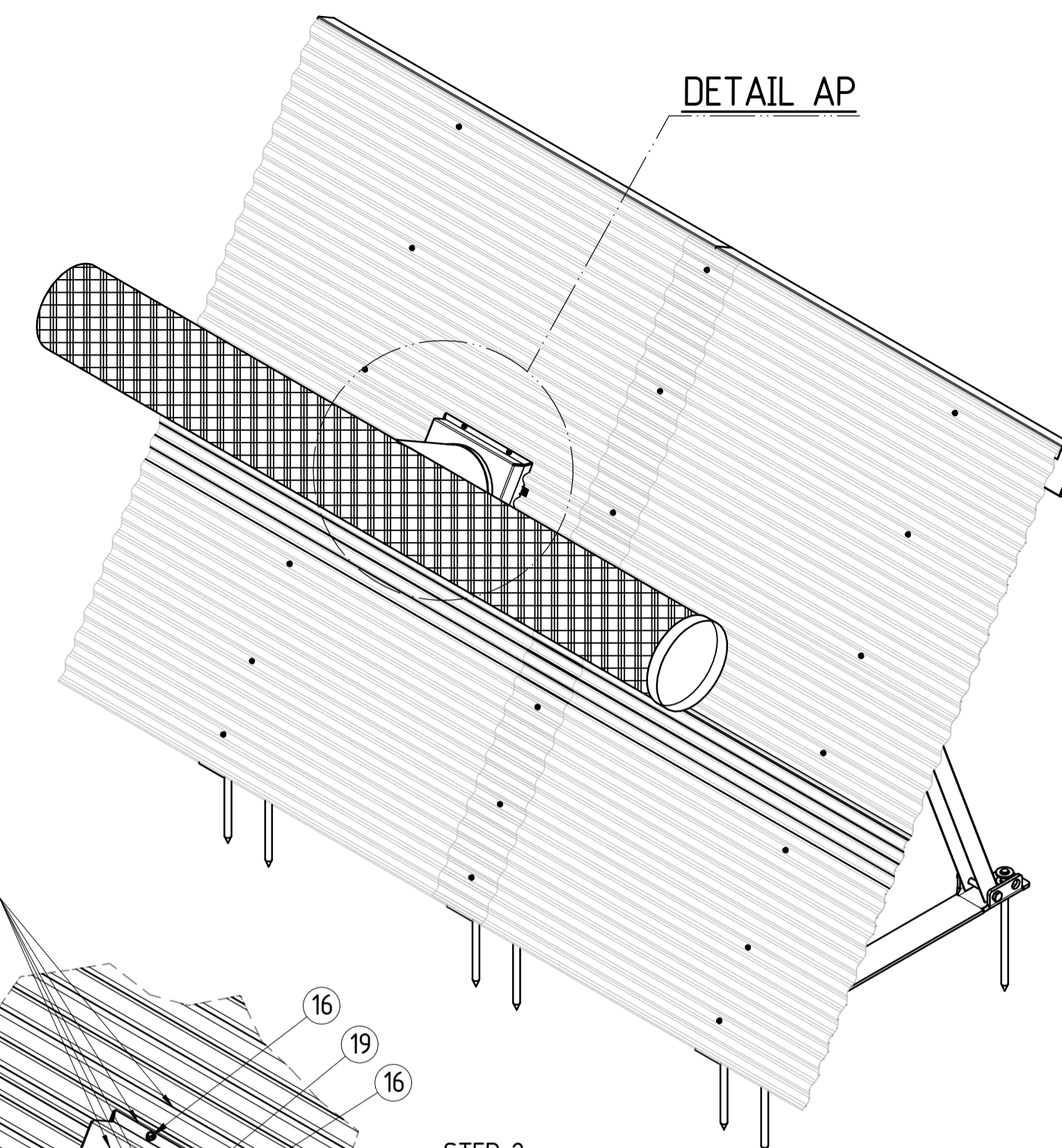
SECTION F ISO VIEW



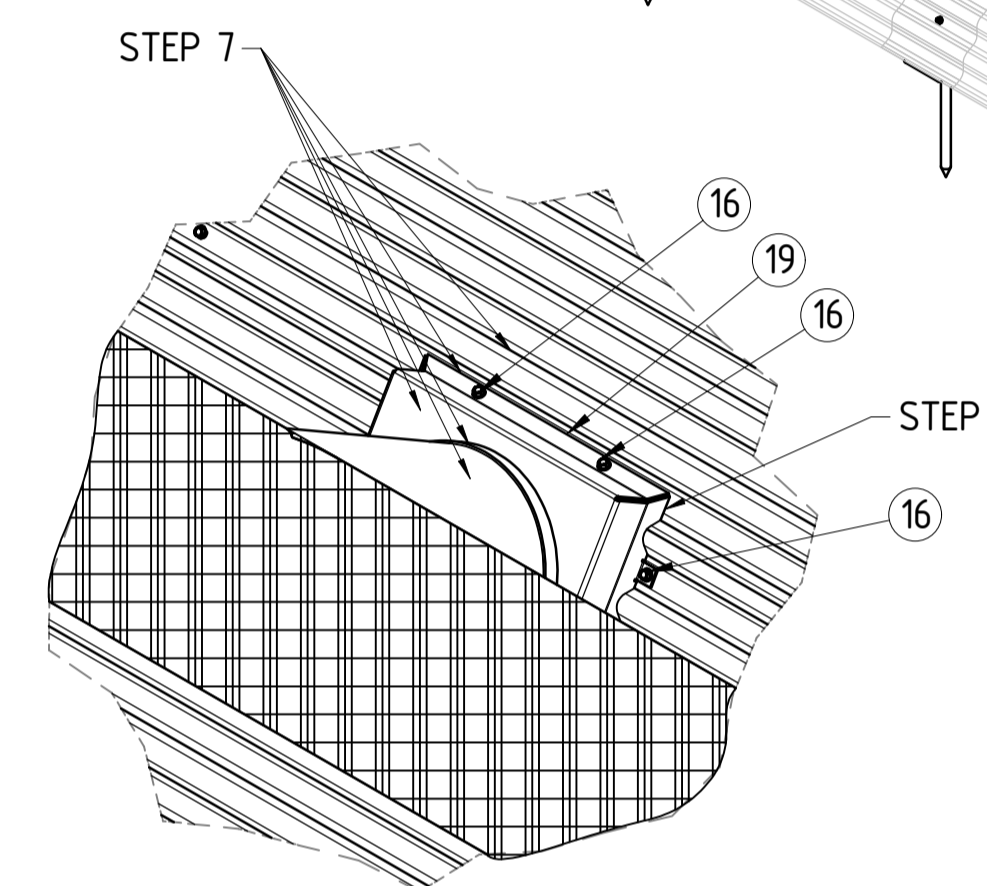
DETAIL AR



SECTION F-F



DETAIL AP



DETAIL AP

BACKGROUND:

- THE 'T' PIECE IS USED TO PUMP HAZARDOUS FUMIGANT INTO THE STORAGE AFTER IT IS FULLY SEALED. CARE MUST BE TAKEN WHEN INSTALLING THE 'T' PIECE AND APPLYING THE SEALANTS TO ENSURE THE SEAL IS APPLIED TO A HIGH QUALITY.

USE THE FOLLOWING QUANTITY'S PER 1 'T'PIECE

- 1 X 600ML SAUSAGE OF BOSTIK SEAL AND FLEX 1
- 1L OF NOVALAST LTM 151

PROCEDURE:

- STEP 1: PREPARE AND CLEAN SURFACES WHERE SEALANTS ARE TO BE APPLIED AS PER MANUFACTURERS SPECIFICATIONS.
- STEP 2: INITIAL COLLAR INSTALL; APPLY A THICK (5-10MM) BEAD OF 'BOSTIK SEAL N FLEX 1' TO ALL EDGES OF THE T-PIECE MOUNTING COLLAR WHICH WILL CONTACT THE CORRUGATED CLADDING. TEK SCREW T-PIECE MOUNT (WITH BOSTIK SEALANT APPLIED) TO THE CLADDING USING 8 TEK SCREWS, EVENLY SPACED AROUND THE T-PIECE MOUNTING COLLAR.
- STEP 3: INSERT T-PIECE INTO THE T-PIECE MOUNTING COLLAR. SECURE THE T-PIECE AT THE LOCATION SHOWN, USING 2 X TEK SCREWS, THROUGH THE MOUNTING COLLAR RING. APPLY A THICK (5-10MM) BEAD OF 'BOSTIK SEAL N FLEX 1' AROUND THE JOIN AND AROUND ANY GAPS, INCLUDING AROUND THE TEK SCREWS. ALSO APPLY A THICK BEAD TO FILL THE GAP BETWEEN THE CLADDING AND THE T-PIECE, ON THE OUTSIDE OF THE BULKHEAD.
- STEP 4: LET SEALANT DRY AS PER MANUFACTURER'S DIRECTIONS.
- STEP 5: APPLY A SECOND THICK (5-10MM) BEAD OF 'BOSTIK SEAL N FLEX 1' AROUND ALL JOINS BETWEEN THE T-PIECE MOUNTING COLLAR, THE T-PIECE AND THE CLADDING.
- STEP 6: LET SEALANT DRY AS PER MANUFACTURER'S DIRECTIONS.
- STEP 7: PAINT THE ENTIRE T-PIECE MOUNTING COLLAR AND 150MM OF CLADDING AROUND THE COLLAR. ALSO PAINT 150MM OF THE T-PIECE, PAST THE COLLAR RING JOIN. PAINT WITH 'NOVALAST 151 LTM'
- STEP 8: LET SEALANT DRY AS PER MANUFACTURER'S DIRECTIONS.

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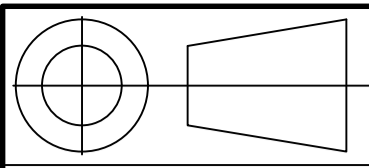
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APPROVED	NH 11/06/2020

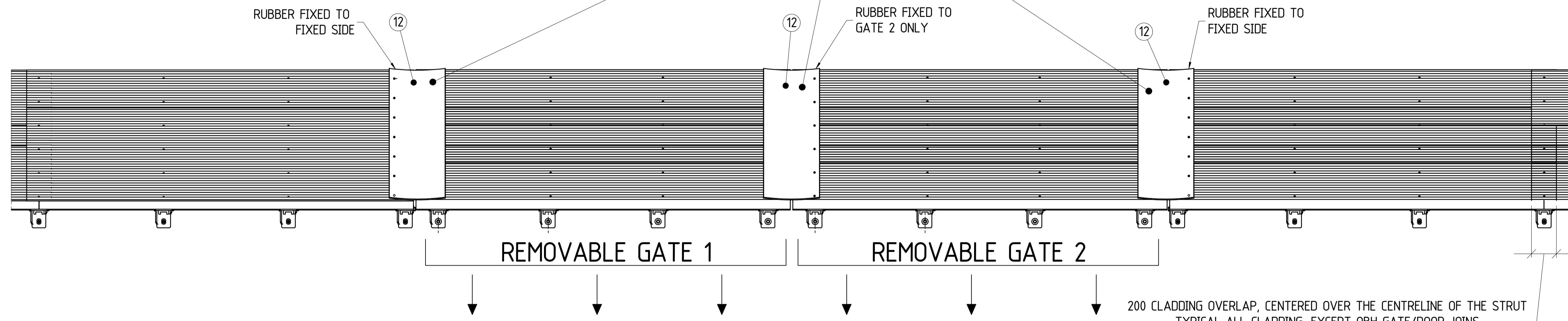
DRAWING TITLE
**1.8m OPEN BULK HEAD
GENERAL ARRANGEMENT
'T' PIECE DETAIL**

SITE	VARIOUS	SIZE	A1
PROJECT	STANDARD		
DRAWING No	S119-ENG-ST-DGA-0003	SHEET	7 OF 9
REV.			



TYPICAL RUBBER FIXINGS, BOTH ENDS

- ATTACH CONVEYOR BELT OVER JOINTS (SEE BOM FOR BELT DETAILS)
- FIX RUBBER USING 45MM LONG TEK SCREWS, USING 7 TEK SCREWS PER RUBBER STRIP

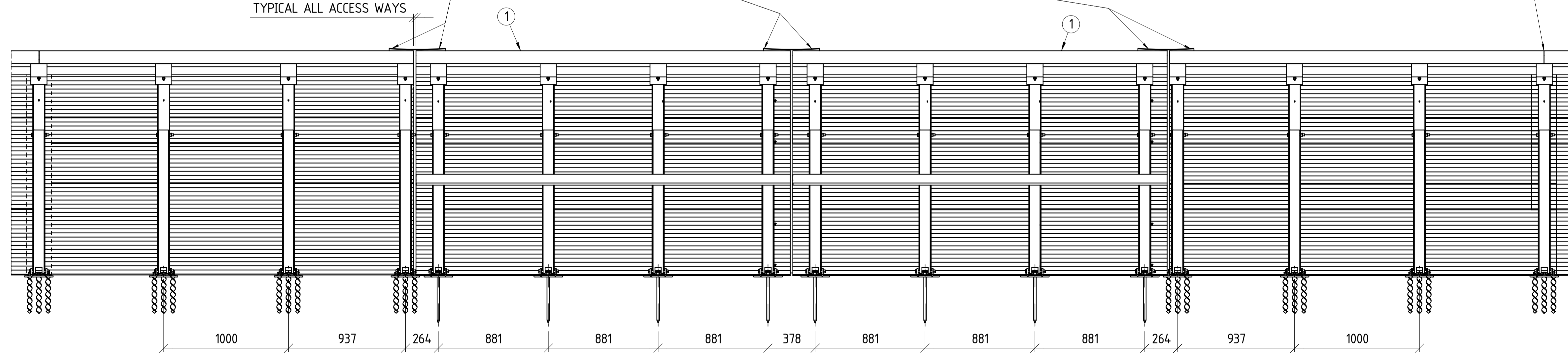


**DETAIL C
FRONT END LOADER ACCESS GATES IN STRAIGHT WALL
TYPICAL BOTH SIDES**

CLADDING, Z-CAPPING AND WOOD, ALL TRIMMED TO SUIT ON BOTH SIDES TO CREATE A BUTT JOIN BETWEEN THE FIXED WALL AND THE REMOVABLE GATE. REFER S119-END-ST-ASY-0003 FOR CLADDING TRIMMING DETAIL. MAX ALLOWABLE GAP BETWEEN BUTT JOINTS IS 20MM - TYPICAL ALL GATES

Z-CAPPING MUST BE NEATLY BUTT JOINED AND ALIGNED IN ALL DIRECTIONS TO ENSURE THAT THERE ARE NO SHARP EDGES WHICH COULD PUNCTURE THE OBH TARP. MAX MISALIGNMENT OF 2MM IN ALL DIRECTIONS. TYPICAL ALL JOINTS EXCEPT AT OBH DOOR/GATE JOINTS.

20 MAX. GAP
TYPICAL ALL ACCESS WAYS



ELEVATION

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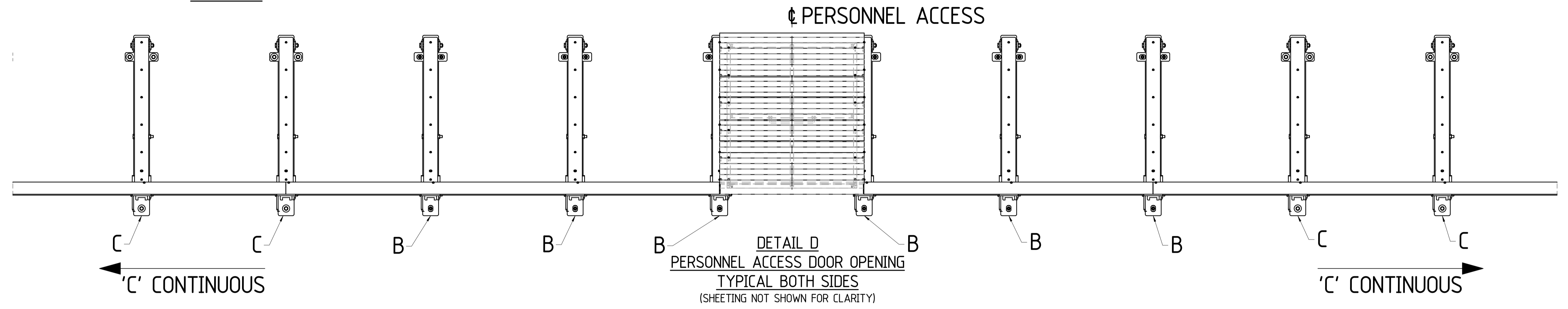
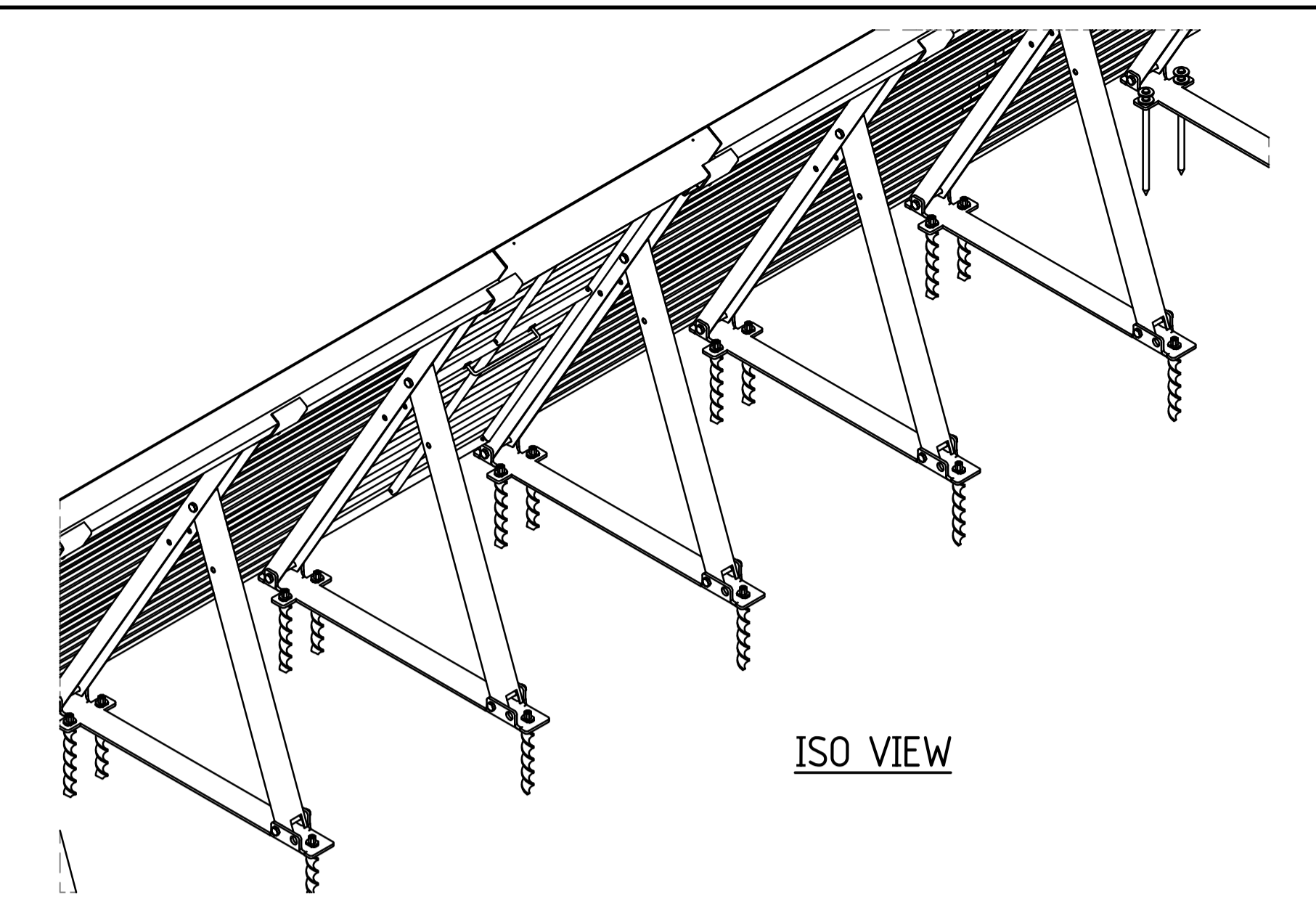
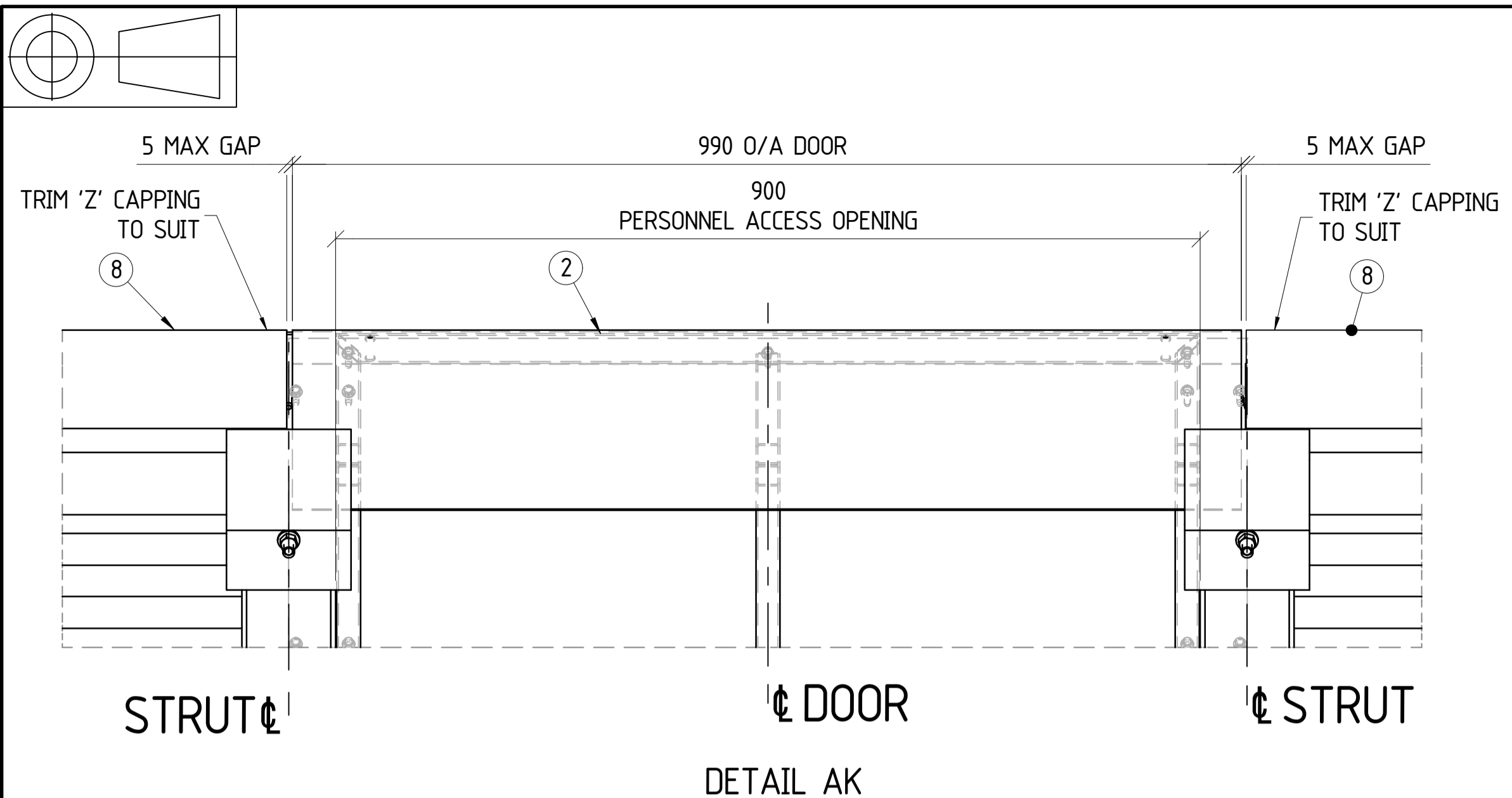
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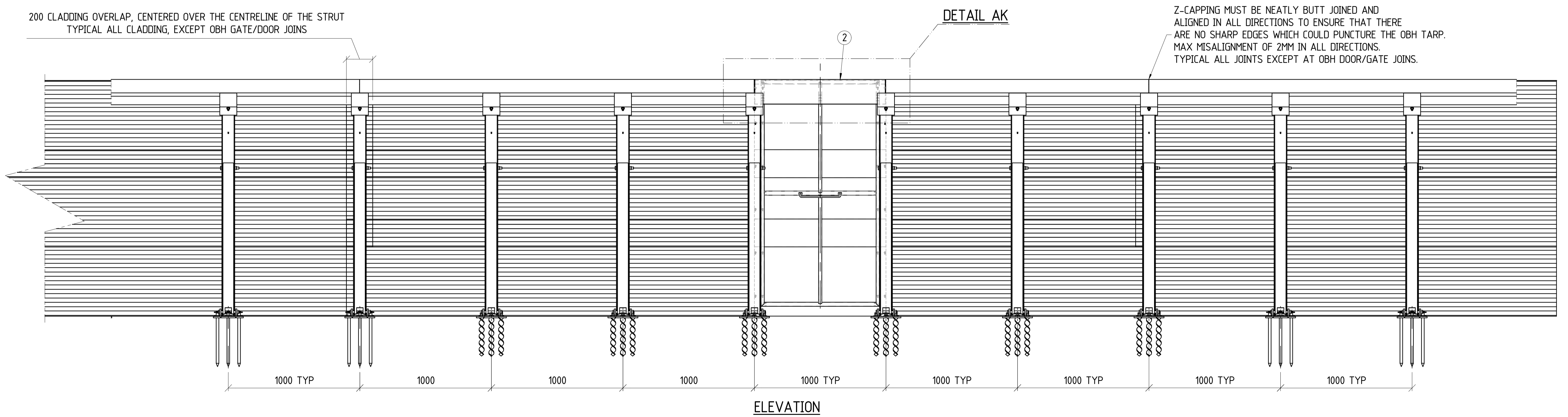
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ENGINEER	BC	11/06/2020
APPROVED	NH	11/06/2020

DRAWING TITLE
**1.8m OPEN BULK HEAD
GENERAL ARRANGEMENT
STRAIGHT OBH OPENING DETAIL**

SITE	VARIOUS	SIZE	A1
PROJECT	STANDARD		
DRAWING No	S119-ENG-ST-DGA-0003	SHEET	8 OF 9
REV.			0




200 CLADDING OVERLAP, CENTERED OVER THE CENTRELINE OF THE STRUT
TYPICAL ALL CLADDING, EXCEPT OBH GATE/DOOR JOINS



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Project Number & Title:	R-0469-Kwinana North-Konnongorring Emergency Storage 2023 Drainage Design Memo
Contractor:	BG&ER

Document Information		
CBH Document Number	Contractor Document Number	Document Title:
348-R-0469-CI-RPT-0001	RP21142.002-CI-MEM-0001	Drainage Design Memo

Revision History					
CBH Rev No	Contractor Rev No.	Description	Date	Approved By (Contractor)	Approved By (CBH)
A	A	Issued for Review	11/06/2023	VP 	



- 1- APPROVED
- 2- APPROVED WORK MAY PROCEED - Submit IFT / IFD / IFU / IFC Documentation
- 3- APPROVED EXCEPT AS NOTED - Revise and Resubmit
- 4- NOT APPROVED, WORK MAY NOT PROCEED - Revise and Resubmit
- 5- INFORMATION ONLY

Signature	Date
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b. evidence or constitute a Direction by Co-operative Bulk Handling Limited; or

c. affect the time for performance of the Contractors or the Contractors Representative's obligations.

Memorandum



Project Title	Emergency Storage 2023 - Konnongorring Drainage Design Memo				
Client	CBH	Document No.	358-R-0469-CI-RPT-0001		
To	Michael Munday	Revision	A		
Distribution	Bikram Rai				
From	Vivek Parathanathil	Date	11/06/23	Pages	8

Konnongorring Drainage Design Memo

1 Background

To cater for the increase harvest demand, CBH are proposing to expand their grain storage by reinstating 2021 temporary bulkheads (TBH 97 & 98) at their Konnongorring facility, referred to herein as “the site”.

The site is located 25 kilometres north of Goomalling on the Northam-Pithara Road in the Shire of Goomalling. The site currently utilises a combination of permanent and temporary bulkheads and contains infrastructure for marshalling, sampling and weighing.

The existing temporary bulkheads are in an open field to the west of site and is envisaged to include the following:

- Access roads and associated earthworks/civil works for RAV07 truck configurations
- Stormwater infrastructure (i.e., open drains, basins and culverts)

The objective of this memo is to provide details on the stormwater management strategy and drainage design for the site.

2 Stormwater Management Strategy

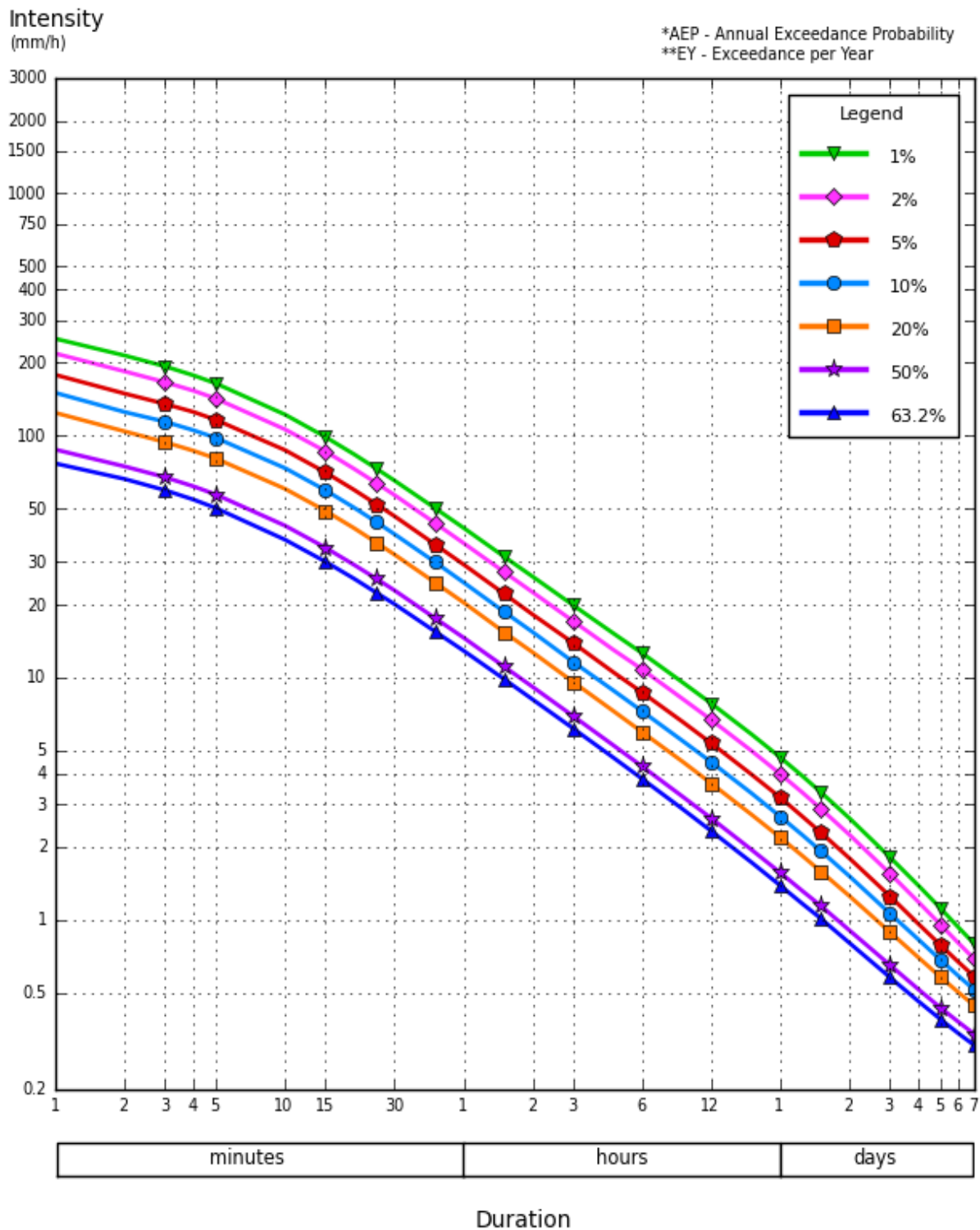
The stormwater management strategy is to cater for all surface runoff within the site, managing it to minimise flooding and damage to critical infrastructure. It will be based on the following philosophy:

- Surface water runoff for the 20% AEP (5-year ARI) event to be directed to an open drainage system.
- Surface water to be Detained on-site up to the 20% AEP event with a controlled outflow limited to the 20% AEP pre-development flow rates.
- Culverts and open drains associated with temporary infrastructure to be designed for the 20% AEP (5-year ARI).
- Compliance with the CBH Emergency Build Specification, Design Specification for Civil Earthworks, Roads, and Drainage (TS10A) and Australian Rainfall & Runoff (ARR).
- Pre-development and post development hydrology analysis using the Rational Method and kinematic wave equation to estimate the time of concentration (Tc).
- Use of Intensity-Duration-Frequency (IDF) charts from Bureau of Meteorology for the location 31.0625S, 116.7625E for stormwater design analysis (see Figure 1).

Memorandum



Figure 1 Rainfall Intensity Chart



3 design parameters

Analysis of the stormwater and drainage was governed by the parameters and assumptions detailed in Table 1.

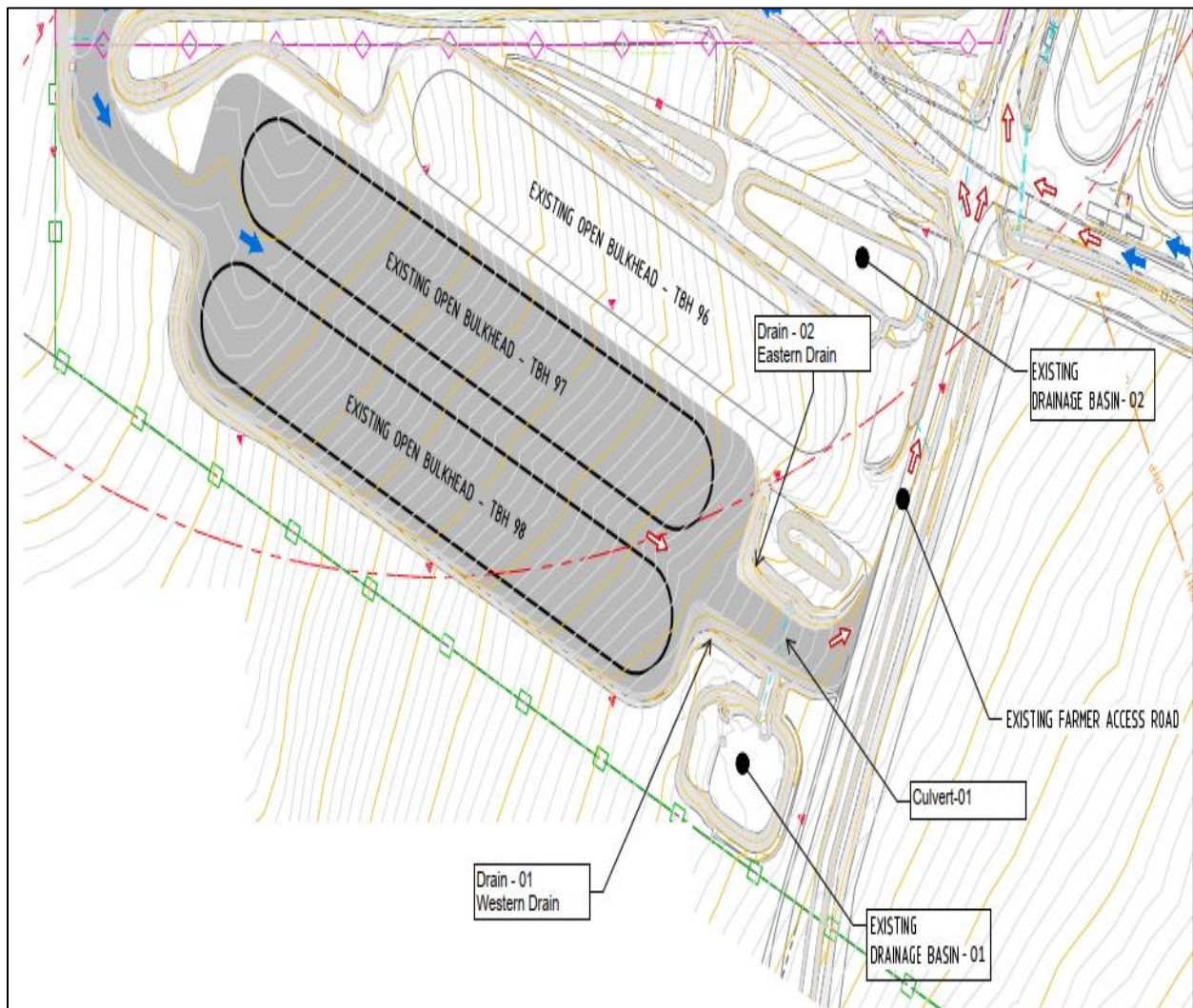
Table 1 Stormwater Management Design Parameters

Parameter	Value
General parameters	
Runoff Coefficients, C_s	Vegetated Ground: 0.18 ($F_Y = 0.95$) Paved Areas: 0.84 ($F_Y = 0.95$)
Location	31.0625S, 116.7625E
Design Life	2 years
Detention basin parameters	
Design ARI for On-site Detention	20% AEP
Design ARI for Pre-Development Outflow	20% AEP
Maximum depth of water	1.2 m typical, 2m max.
Freeboard to Infrastructure	0.3 m (min)
Freeboard to top of subgrade	0.3m (min)
Typical Side Slopes	1V:3H (max)
Stormwater drain parameters	
Design ARI for Conveyance	20% AEP
Side Slopes	1V:3H (max)
Minimum Drain Depth	400 mm
Minimum Grade for Open Drains	0.3%
Manning's Co-efficient (earth channels), n	0.022
Manning's Co-efficient (pavement), n	0.014

4 Existing surface hydrology

The study area slopes uniformly from north to south at an average grade of 2.5%. The runoff from TBH 98 and 97 is conveyed to an existing basin-01 located south-west of TBH 98 and 97, refer Figure 2. The existing basin-01 is designed without a low flow outlet. Basin overflow is discharged to a drain north of farmers access road which finally discharges to a Dam located to southeast of the site.

Figure 2 Existing drainage features



4.1 Previous study

Existing basin was designed by Shawmac in 2021 to cater for an area of 4.2 Ha (2107006_REP-003, Shawmac,2019, figure 3). The basin has a storage volume of 1,967 m³ and is designed for critical 5-year event (20% AEP), without a low flow outlet.

Catchment area for existing basin-01 was altered due to the introduction of TBH 96 during 2022 emergency works, refer (358_R_0430-1-CI-RPT-001, BGER, 2022, Figure 5). An additional basin (basin-02) was proposed by BGER to cater for TBH 96 as shown on Figure 2.

4.2 Pre-development analysis.

A pre-development flow analysis was undertaken assuming the footprint of TBH 97,98 and 96 as impervious area. The catchments considered for the study are shown on Figure 3 and Figure 4, the results are summarised in Table 2 and Table 3.

Memorandum

Table 2 Pre-development catchment

Catchment	Description	Area (m ²)	Fraction impervious
01	TBH 97 & 98 footprint	37,016	0
02	TBH 96 discharging to basin-01	4,399	1
03	External catchment discharging to basin-01	8,294	0

Table 3 Pre-development flow rates

Catchment	Area (m ²)	Coefficient of runoff	Pre-development flow (m ³ /s)
01,02,03	49,709	0.187	0.05

Figure 3 Catchment 01 and 02 area

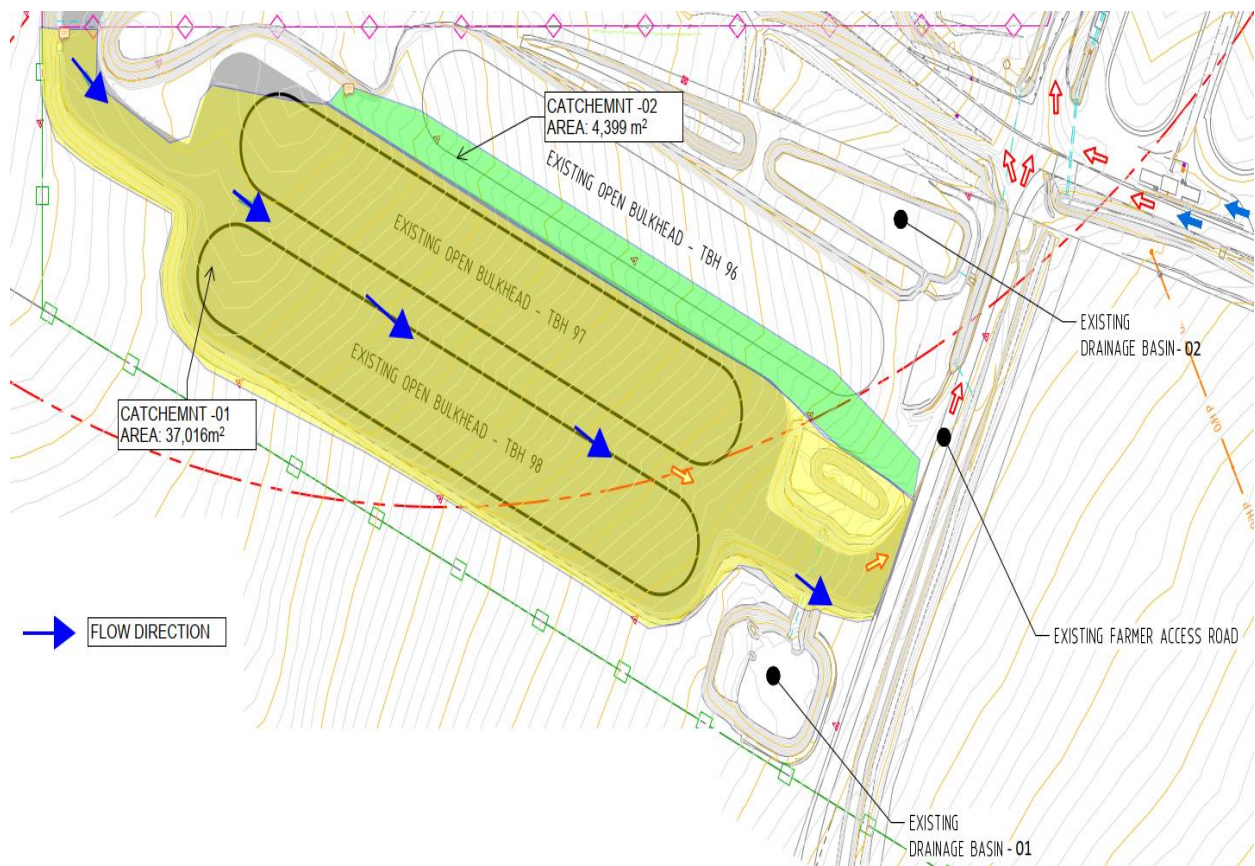
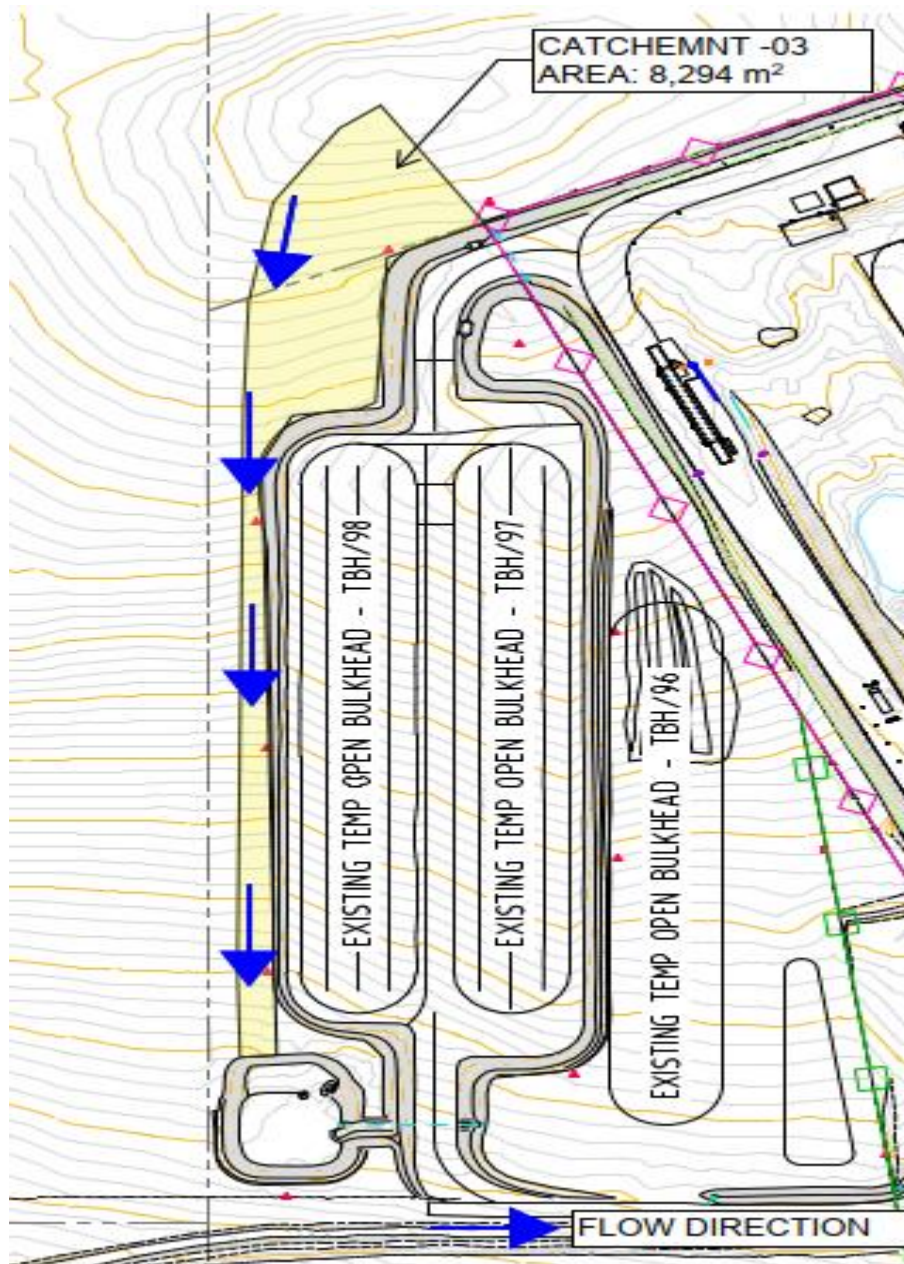


Figure 4 External Catchment-03 area



5 Post development analysis and stormwater management strategy

The proposed stormwater strategy is to utilise the existing basin-01 for storage to limit post development discharge to pre-development discharge rates. The areas of bulkheads were considered impervious for post development hydrology analysis. The increase in impervious area will result in an increase in discharge rates. The storage required to limit flows to a predevelopment flow rate were compared with available basin capacity.

5.1 Existing Basin-01 Analysis

Runoff from TBH 97 and 98 are conveyed to Existing basin-01. Refer Figure 3 and Figure 4 for basin-01 catchments. Table 4 provide basin-01 analysis summary.

Table 4 basin -01 capacity analysis

Basin	Catchments	Coefficient of runoff	Required volume (m ³)	Available volume (m ³)
01	01,02 and 03	0.730	570	1,967

It is to be noted that the basin will start to fill after the first rain. Clayey nature of soil and poor infiltration increases basin emptying time, this will lead to insufficient capacity for further storm events. Basin overtopping can also lead to scouring of downstream catchments. Considering the short design life of 1-2 years it is likely that the basin will get filled. However, it is advised that regular emptying of the basin will be required to maintain functionality.

Existing basin-01 has a water depth of 1.8m, given the no outlet condition this will be a seasonal open water body, it is advised to analyse depth with CBH safety requirements and undertake any necessary mitigation measures.

5.2 Existing Open Drain

Existing open drain's general parameters are summarised below. Refer figure 1 for critical open drain location selected for analysis as maximum concentrated flow is expected in this location. Table 5 shows 20% AEP peak flows and open drain capacity.

Depth: 1200 mm
 Effective depth: 600mm (300mm freeboard to top of subgrade)
 Longitudinal slope: 3%
 Batter slope: 1 in 3
 Base width: 0m

Table 5 Open drain analysis result summary

Drain	Area (m ²)	Peak flow (m ³ /s)	Max drain depth (m ³ /s)	Velocity (m ² /s)	Capacity (m ³ /s)
01 – Eastern Drain	13,303	0.32	0.24	1.85	3.68
02 – Western Drain	24,319	0.33	0.25	1.9	3.68

5.3 Existing Culvert

Refer Figure 1 for culvert location. Table 6 provide peak flow for a 20% AEP event and culvert capacity.

Table 6 Existing culvert analysis summary

Culvert	Diameter (mm)	U/s	D/s	length	Grade	Peak flow (m ³ /s)	Capacity (m ³ /s)
01	450 (TBC)	278.164	277.263	40.9	1 in 45	0.32	0.460

Memorandum



6 Conclusion

The stormwater drainage system has been designed in accordance with the requirements of CBH Emergency Build Specification, Design Specification for Civil Earthworks, Roads and Drainage (TS10A), Australian Rainfall & Runoff (ARR).

The Existing basin has an available storage volume of 1,967 m³ which is greater than required volume of 570m³ to cater for a 20% AEP event. As the basin is designed without a low flow outlet, it is advised to undertake regular inspection and dewatering to maintain correct operation.

Culverts and open drains associated with emergency development are designed to convey 20% AEP .



9.9 FINANCIAL REPORT FOR JUNE 2023

File Reference	Not Applicable
Disclosure of Interest	Nil
Applicant	Shire of Goomalling
Previous Item Numbers	No Direct
Date	13 July 2023
Author	Natalie Bird, Finance Manager
Authorising Officer	Natalie Bird, Finance Manager
Attachments	Monthly Financial Report to 30 June 2023

Summary

In accordance with the *Local Government (Financial Management) Regulations 1996*, to follow is the presentation of the Monthly Financial Reports to Council.

Background

Monthly Financial Reports are to be presented to Council and are to be received by Council resolution.

Statutory Environment

Local Government Act 1995 – Section 6.4 (as amended)
Local Government (Financial Management) Regulations 1996 – Clause 34 and 35

Policy Implications

No specific policy regarding this matter.

Financial Implications

Ongoing management of Council funds

Strategic Implications

Shire of Goomalling Community Strategic Plan 2019-2028	
4.1.4	Provide reporting processes in a transparent, accountable and timely manner

Voting Requirements

Simple Majority

OFFICER’S RECOMMENDATION

That the Council:

Receive the Monthly Financial Report to 30 June 2023

SHIRE OF GOOMALLING

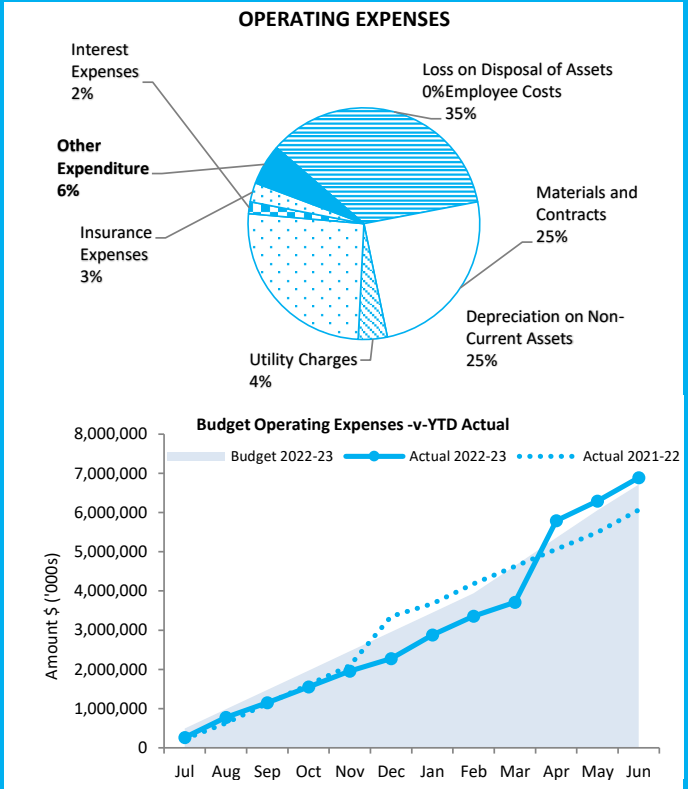
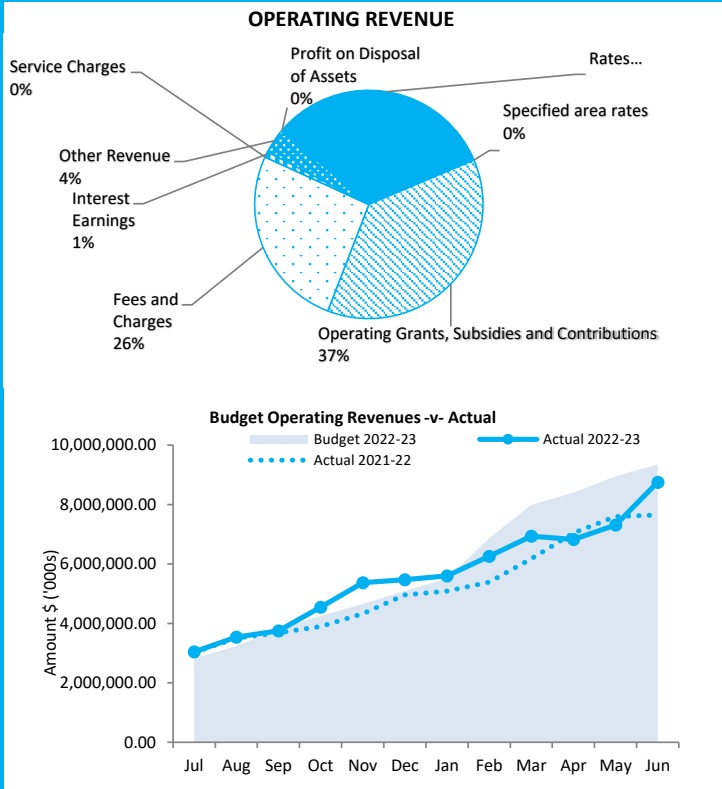
DRAFT MONTHLY FINANCIAL REPORT (Containing the Statement of Financial Activity) For the period ending 30 June 2023

LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996

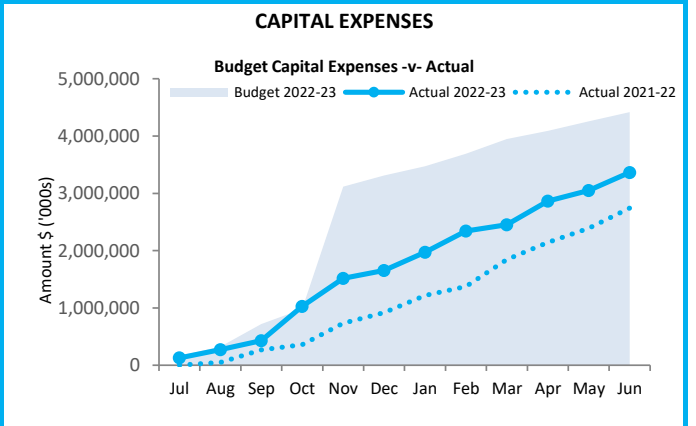
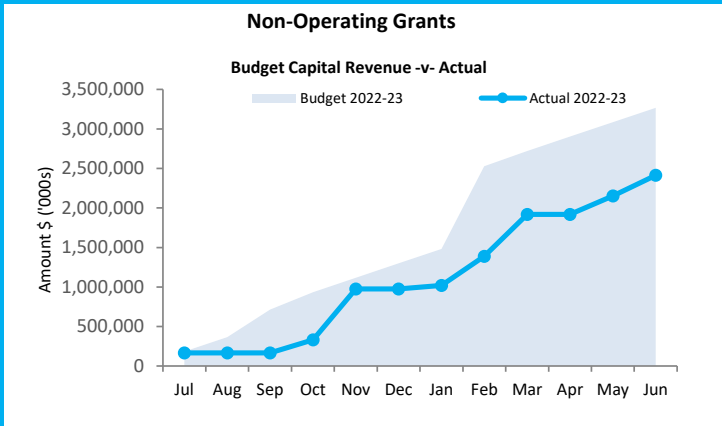
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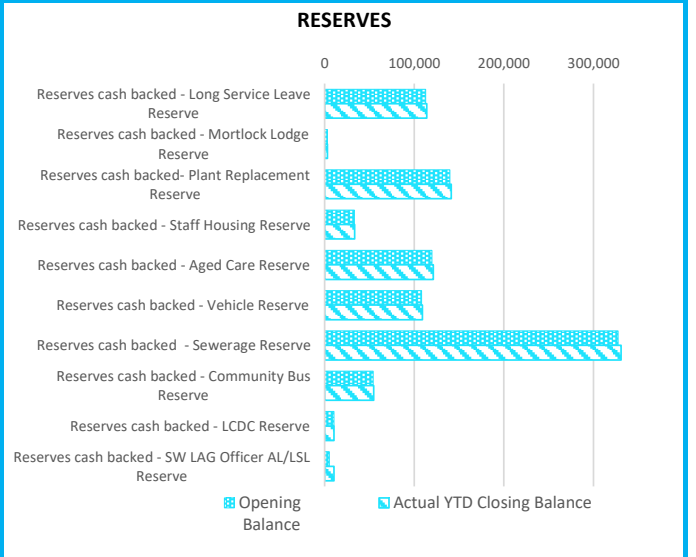
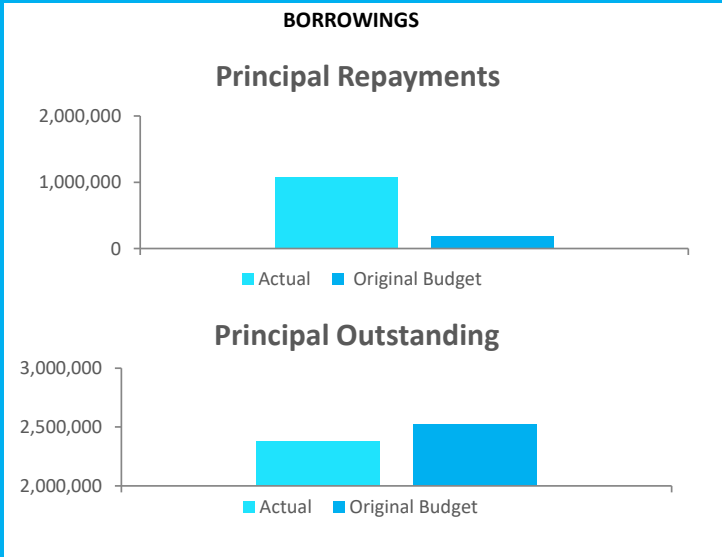
OPERATING ACTIVITIES



INVESTING ACTIVITIES



FINANCING ACTIVITIES



Funding surplus / (deficit) Components

Funding surplus / (deficit)

	Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
Opening	\$0.16 M	\$0.09 M	\$0.09 M	(\$0.00 M)
Closing	(\$0.05 M)	(\$0.14 M)	\$0.29 M	\$0.43 M

Refer to Statement of Financial Activity

Cash and cash equivalents

	\$2.61 M	% of total
Unrestricted Cash	\$1.67 M	64.2%
Restricted Cash	\$0.94 M	35.8%

Refer to Note 2 - Cash and Financial Assets

Payables

	\$0.37 M	% Outstanding
Trade Payables	\$0.28 M	
Over 30 Days		0.0%
Over 90 Days		0%

Refer to Note 5 - Payables

Receivables

	\$0.10 M	% Collected
Rates Receivable	\$0.07 M	97.2%
Trade Receivable	\$0.10 M	
Over 30 Days		39.6%
Over 90 Days		38.3%

Refer to Note 3 - Receivables

Key Operating Activities

Amount attributable to operating activities

Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
\$0.96 M	\$0.94 M	\$1.20 M	\$0.27 M

Refer to Statement of Financial Activity

Rates Revenue

YTD Actual	\$2.42 M	% Variance
YTD Budget	\$2.15 M	12.5%

Refer to Note 6 - Rate Revenue

Operating Grants and Contributions

YTD Actual	\$2.34 M	% Variance
YTD Budget	\$0.65 M	258.7%

Refer to Note 13 - Operating Grants and Contributions

Fees and Charges

YTD Actual	\$1.58 M	% Variance
YTD Budget	\$1.49 M	6.0%

Refer to Statement of Financial Activity

Key Investing Activities

Amount attributable to investing activities

Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
(\$0.98 M)	(\$0.94 M)	(\$0.76 M)	\$0.19 M

Refer to Statement of Financial Activity

Proceeds on sale

YTD Actual	\$0.15 M	%
Adopted Budget	\$0.11 M	40.5%

Refer to Note 7 - Disposal of Assets

Asset Acquisition

YTD Actual	\$3.37 M	% Spent
Adopted Budget	\$4.39 M	(23.4%)

Refer to Note 8 - Capital Acquisition

Non-Operating Grants

YTD Actual	\$2.41 M	% Received
Adopted Budget	\$3.26 M	(25.9%)

Refer to Note 8 - Capital Acquisition

Key Financing Activities

Amount attributable to financing activities

Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
(\$0.19 M)	(\$0.23 M)	(\$0.25 M)	(\$0.02 M)

Refer to Statement of Financial Activity

Borrowings

Principal repayments	\$1.08 M
Interest expense	\$0.14 M
Principal due	\$2.38 M

Refer to Note 9 - Borrowings

Reserves

Reserves balance	\$0.93 M
Interest earned	\$0.01 M

Refer to Note 11 - Cash Reserves

Lease Liability

Principal repayments	\$0.02 M
Interest expense	\$0.00 M
Principal due	\$0.05 M

Refer to Note 10 - Lease Liabilities

This information is to be read in conjunction with the accompanying Financial Statements and notes.

KEY TERMS AND DESCRIPTIONS

FOR THE PERIOD ENDED 30 JUNE 2023

STATUTORY REPORTING PROGRAMS

Shire operations as disclosed in these financial statements encompass the following service orientated activities/programs.

PROGRAM NAME AND OBJECTIVES

ACTIVITIES

GOVERNANCE

To provide a decision making process for the efficient allocation of resources

To include the activities of members of Council and the administration support available to the Council for the provision of governance of the district. Other costs relate to assisting elected members and ratepayers on matters which do not concern specific Council services.

GENERAL PURPOSE FUNDING

To collect revenue to allow for the provision of services.

Rates, general purpose government grants and interest revenue.

LAW, ORDER, PUBLIC SAFETY

To provide services to help ensure a safer and environmentally conscious community.

Supervision and enforcement of various local laws relating to fire prevention, animal control, community crime prevention and other aspects of public safety including emergency services.

HEALTH

To provide an operational framework for environmental and community health.

Inspection of food premises and food control. Provision of Medical Surgery and Doctor. Also noise control and waste disposal compliance

EDUCATION AND WELFARE

To provide services to disadvantaged persons including the elderly, children and youth.

Maintenance of child minding centre, playgroup centre, senior citizens centre. Provision and maintenance of youth services.

HOUSING

To provide and maintain housing for staff, aged and community housing projects operated by Joint Venture with the Department of Housing.

Staff housing, provision of general rental accommodation to the public when not required by staff.

COMMUNITY AMENITIES

To provide necessary services as required by the community.

Rubbish collection and recycling, operation of disposal sites, administration, maintenance & operation of the Shire Townsite Sewerage Scheme. Administration of the Shire of Goomalling Town Planning Scheme. Administration, maintenance & operation of the Goomalling public cemeteries, public toilets & the Goomalling Community Bus.

RECREATION AND CULTURE

To establish & effectively manage infrastructure and resources which will help the social wellbeing of the community.

Maintenance and operation of public halls, swimming pool, sporting pavilions, parks and gardens, recreation centre, sports playing surface areas and reserves including football oval, hockey oval, tennis courts, bowling greens. Contribution to the operation of the Goomalling Public Library, museums and cultural facilities.

TRANSPORT

To provide safe, effective and efficient transport services to the community.

Construction and maintenance of streets, roads, footpaths, drainage & signs. Maintenance and operation of street lights, works depot and aerodrome. Cleaning of streets and provision and maintenance of street trees. Purchase, maintenance and operation of plant.

ECONOMIC SERVICES

To help promote the Shire and its economic wellbeing.

Tourism and area promotion including the maintenance and operation of the Shire of Goomalling Caravan Park facilities and Motel Units. Provision of rural services including building control, standpipes, noxious weeds and vermin control. Maintenance costs associated with the Goomalling Community Resource Centre.

OTHER PROPERTY AND SERVICES

To monitor and control Council's overheads operating accounts.

Private works, plant repairs and operations. Housing and Engineering operations costs.

**STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

STATUTORY REPORTING PROGRAMS

	Ref	Adopted Budget	Current Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(a)	Var.
Note		\$		\$	\$	\$	%	
Opening funding surplus / (deficit)	1(c)	160,154	93,153	93,157	93,153	(4)	(0.00%)	
Revenue from operating activities								
Governance		30,000	68,000	68,000	98,810	30,810	45.31%	▲
General purpose funding		2,420,268	2,488,268	2,488,268	3,540,743	1,052,475	42.30%	▲
Law, order and public safety		266,950	354,300	354,300	178,638	(175,662)	(49.58%)	▼
Health		654,000	564,000	564,000	608,602	44,602	7.91%	
Education and welfare		600	600	600	176	(424)	(70.67%)	
Housing		264,860	274,860	274,860	233,740	(41,120)	(14.96%)	▼
Community amenities		548,000	1,097,000	1,097,000	1,040,811	(56,189)	(5.12%)	
Recreation and culture		98,884	131,684	131,684	115,093	(16,591)	(12.60%)	▼
Transport		574,500	616,500	616,500	157,292	(459,208)	(74.49%)	▼
Economic services		362,930	384,770	384,770	295,022	(89,748)	(23.33%)	▼
Other property and services		99,000	101,000	101,000	69,913	(31,087)	(30.78%)	▼
		5,319,992	6,080,982	6,080,982	6,338,840	257,858		
Expenditure from operating activities								
Governance		(238,926)	(238,927)	(238,927)	(192,091)	46,836	19.60%	▲
General purpose funding		(110,964)	(105,064)	(105,064)	(114,949)	(9,885)	(9.41%)	
Law, order and public safety		(470,709)	(566,609)	(566,609)	(460,762)	105,847	18.68%	▲
Health		(734,759)	(655,709)	(655,709)	(651,160)	4,549	0.69%	
Education and welfare		(18,693)	(17,193)	(17,193)	(16,398)	795	4.62%	
Housing		(447,296)	(447,618)	(447,618)	(283,987)	163,631	36.56%	▲
Community amenities		(609,595)	(1,226,594)	(1,226,594)	(1,225,396)	1,198	0.10%	
Recreation and culture		(954,484)	(984,376)	(984,376)	(956,233)	28,143	2.86%	
Transport		(1,737,736)	(1,802,736)	(1,802,736)	(2,180,234)	(377,498)	(20.94%)	▼
Economic services		(590,926)	(584,128)	(584,128)	(564,633)	19,495	3.34%	
Other property and services		(15,843)	(85,593)	(85,593)	(243,942)	(158,349)	(185.00%)	▼
		(5,929,931)	(6,714,547)	(6,714,547)	(6,889,785)	(175,238)		
Non-cash amounts excluded from operating activities	1(a)	1,569,016	1,569,016	1,569,016	1,752,007	182,991	11.66%	▲
Movement in liabilities associated with restricted cash (Leave Reserve)		0		0	0	0	0.00%	
Amount attributable to operating activities		959,077	935,451	935,451	1,201,062	265,611		
Investing Activities								
Proceeds from non-operating grants, subsidies and contributions	14	3,256,798	3,266,798	3,266,798	2,412,435	(854,363)	(26.15%)	▼
Less Unspent Non-Operating Grants represented as Contract Liabilities	14	0		0	0			
Net Revenue from Non-Operating Grants	14	3,256,798	3,266,798	3,266,798	2,412,435			
Proceeds from disposal of assets	7	110,000	110,000	110,000	154,545	44,545	40.50%	▲
Proceeds from financial assets at amortised cost - self supporting loans	9	41,681	41,681	41,674	41,674	0	0.00%	
Payments for property, plant and equipment and infrastructure	8	(4,393,285)	(4,417,054)	(4,361,368)	(3,365,162)	996,206	22.84%	▲
Amount attributable to investing activities		(984,806)	(998,575)	(942,896)	(756,508)	186,388		
Financing Activities								
Loan to Medical Surgery		0	0	0	0	0	0.00%	
Transfer from reserves	11	40,000	40,000	0	0	0	0.00%	
Refinance Loan		0	0	0	867,000			
Payments for principal portion of lease liabilities	10	(20,869)	(20,869)	(20,869)	(21,978)	(1,109)	(5.31%)	
Repayment of debentures	9	(182,466)	(182,466)	(182,466)	(1,078,668)	(896,202)	(491.16%)	▼
Transfer to reserves	11	(23,934)	(23,934)	(23,934)	(14,382)	9,552	39.91%	
Amount attributable to financing activities		(187,270)	(187,269)	(227,269)	(248,028)	(20,759)		
Closing funding surplus / (deficit)	1(c)	(52,845)	(157,240)	(141,551)	289,679	431,231		

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Actual and YTD Actual data as per the adopted materiality threshold. Refer to Note 2 for an explanation of the threshold. Refer to Note 16 for an explanation of the reasons for the variance.

The material variance adopted by Council for the 2022-23 year is \$10,000 or 10.00% whichever is the greater.

This statement is to be read in conjunction with the accompanying Financial Statements and notes.

KEY TERMS AND DESCRIPTIONS

FOR THE PERIOD ENDED 30 JUNE 2023

REVENUE

RATES

All rates levied under the *Local Government Act 1995*. Includes general, differential, specified area rates, minimum rates, interim rates, back rates, ex-gratia rates, less discounts and concessions offered. Exclude administration fees, interest on instalments, interest on arrears, service charges and sewerage rates.

OPERATING GRANTS, SUBSIDIES AND CONTRIBUTIONS

Refers to all amounts received as grants, subsidies and contributions that are not non-operating grants.

NON-OPERATING GRANTS, SUBSIDIES AND CONTRIBUTIONS

Amounts received specifically for the acquisition, construction of new or the upgrading of identifiable non financial assets paid to a local government, irrespective of whether these amounts are received as capital grants, subsidies, contributions or donations.

REVENUE FROM CONTRACTS WITH CUSTOMERS

Revenue from contracts with customers is recognised when the local government satisfies its performance obligations under the contract.

FEES AND CHARGES

Revenues (other than service charges) from the use of facilities and charges made for local government services, sewerage rates, rentals, hire charges, fee for service, photocopying charges, licences, sale of goods or information, fines, penalties and administration fees. Local governments may wish to disclose more detail such as rubbish collection fees, rental of property, fines and penalties, other fees and charges.

SERVICE CHARGES

Service charges imposed under *Division 6 of Part 6 of the Local Government Act 1995*. *Regulation 54 of the Local Government (Financial Management) Regulations 1996* identifies these as television and radio broadcasting, underground electricity and neighbourhood surveillance services. Exclude rubbish removal charges. Interest and other items of a similar nature received from bank and investment accounts, interest on rate instalments, interest on rate arrears and interest on debtors.

INTEREST EARNINGS

Interest and other items of a similar nature received from bank and investment accounts, interest on rate instalments, interest on rate arrears and interest on debtors.

OTHER REVENUE / INCOME

Other revenue, which can not be classified under the above headings, includes dividends, discounts, rebates etc.

PROFIT ON ASSET DISPOSAL

Excess of assets received over the net book value for assets on their disposal.

NATURE OR TYPE DESCRIPTIONS

EXPENSES

EMPLOYEE COSTS

All costs associate with the employment of person such as salaries, wages, allowances, benefits such as vehicle and housing, superannuation, employment expenses, removal expenses, relocation expenses, worker's compensation insurance, training costs, conferences, safety expenses, medical examinations, fringe benefit tax, etc.

MATERIALS AND CONTRACTS

All expenditures on materials, supplies and contracts not classified under other headings. These include supply of goods and materials, legal expenses, consultancy, maintenance

agreements, communication expenses, advertising expenses,

membership, periodicals, publications, hire expenses, rental, leases, postage and freight etc. Local governments may wish to disclose more detail such as contract services, consultancy, information technology, rental or lease expenditures.

UTILITIES (GAS, ELECTRICITY, WATER, ETC.)

Expenditures made to the respective agencies for the provision of power, gas or water. Exclude expenditures incurred for the reinstatement of roadwork on behalf of these agencies.

INSURANCE

All insurance other than worker's compensation and health benefit insurance included as a cost of employment.

LOSS ON ASSET DISPOSAL

Shortfall between the value of assets received over the net book value for assets on their disposal.

DEPRECIATION ON NON-CURRENT ASSETS

Depreciation expense raised on all classes of assets.

INTEREST EXPENSES

Interest and other costs of finance paid, including costs of finance for loan debentures, overdraft accommodation and refinancing expenses.

OTHER EXPENDITURE

Statutory fees, taxes, allowance for impairment of assets, member's fees or State taxes. Donations and subsidies made to community groups.

**STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

BY NATURE OR TYPE

	Ref Note	Adopted Budget \$	Current Budget	YTD Budget (a) \$	YTD Actual (b) \$	Var. \$ (b)-(a)	Var. % (b)-(a)/(a)	Var.
Opening funding surplus / (deficit)	1(c)	160,154	93,153	93,153	93,153	(67,001)	(0.00%)	
Revenue from operating activities								
Rates	6	2,171,729	2,153,463	2,153,463	1,964,467	(188,996)	(8.78%)	
Other rates	6	248,012	248,012	248,012	248,012	0	0.00%	
Operating grants, subsidies and contributions	13	1,139,293	1,914,593	1,914,593	2,266,953	352,360	18.40%	▲
Fees and charges		1,523,690	1,492,296	1,492,296	1,582,016	89,720	6.01%	
Interest earnings		70,868	57,218	57,218	48,040	(9,178)	(16.04%)	
Other revenue		166,400	215,400	215,400	217,538	2,138	0.99%	
Profit on disposal of assets	7	0	0	0	11,812	11,812	0.00%	▲
		5,319,992	6,080,982	6,080,982	6,338,841	257,859		
Expenditure from operating activities								
Employee costs		(2,300,723)	(2,509,464)	(2,509,464)	(2,452,083)	57,381	2.29%	
Materials and contracts		(1,322,620)	(1,653,622)	(1,653,622)	(1,706,556)	(52,934)	(3.20%)	
Utility charges		(261,462)	(270,114)	(270,114)	(278,893)	(8,779)	(3.25%)	
Depreciation on non-current assets		(1,568,999)	(1,568,999)	(1,568,999)	(1,762,702)	(193,703)	(12.35%)	▼
Interest expenses		(135,465)	(130,966)	(130,966)	(113,757)	17,209	13.14%	▲
Insurance expenses		(190,013)	(202,333)	(202,333)	(184,667)	17,666	8.73%	
Other expenditure		(150,650)	(379,050)	(379,050)	(391,124)	(12,074)	(3.19%)	
		(5,929,932)	(6,714,547)	(6,714,547)	(6,889,783)	(175,236)		
Non-cash amounts excluded from operating activities	1(a)	1,569,016	1,569,016	1,569,016	1,752,007	182,991	11.66%	▲
Movement in liabilities associated with restricted cash				0	0	0	0.00%	
Amount attributable to operating activities		959,076	935,451	935,451	1,201,065	265,614		
Investing activities								
Proceeds from non-operating grants, subsidies and contributions	14	3,256,798	3,266,798	3,266,798	2,412,435	(854,363)	(26.15%)	▼
Less Unspent Non-Operating Grants represented as Contract Liabilities	14	0	0	0	0			
Net Revenue from Non-Operating Grants	14	3,256,798	3,266,798	3,266,798	2,412,435			
Proceeds from disposal of assets	7	110,000	110,000	110,000	154,545	44,545	40.50%	▲
Proceeds from financial assets at amortised cost - self supporting loans	9	41,681	41,681	41,674	41,674	0	0.00%	
Payments for property, plant and equipment and infrastructure	8	(4,393,285)	(4,417,054)	(4,361,368)	(3,365,162)	996,206	22.84%	▲
Amount attributable to investing activities		(984,806)	(998,575)	(942,896)	(756,508)	186,389		
Financing Activities								
Transfer from reserves	11	40,000	40,000	0	0	0	0.00%	
Refinance Loan		0	0	0	867,000			
Payments for principal portion of lease liabilities		(20,869)	(20,869)	(20,869)	(21,978)	(1,109)	(5.31%)	
Repayment of debentures	9	(182,466)	(182,466)	(182,466)	(1,078,668)	(896,202)	(491.16%)	▼
Transfer to reserves	11	(23,934)	(23,934)	(23,934)	(14,382)	9,552	39.91%	
Amount attributable to financing activities		(187,269)	(187,269)	(227,269)	(248,028)	(20,759)		
Closing funding surplus / (deficit)	1(c)	(52,845)	(157,240)	(141,551)	289,679	431,230		

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Actual and YTD Actual data as per the adopted materiality threshold.

Refer to Note 16 for an explanation of the reasons for the variance.

This statement is to be read in conjunction with the accompanying Financial Statements and Notes.

(a) Non-cash items excluded from operating activities

The following non-cash revenue and expenditure has been excluded from operating activities within the Statement of Financial Activity in accordance with Financial Management Regulation 32.

	Notes	Adopted Budget	YTD Budget (a)	YTD Actual (b)
		\$	\$	\$
Non-cash items excluded from operating activities				
Adjustments to operating activities				
Less: Profit on asset disposals	7	0	0	(11,812)
Less: movement in trust		0	0	0
Less: Movement in liabilities associated with restricted cash		17	0	1,117
Add: Depreciation on assets		1,568,999	1,568,999	1,762,702
Total non-cash items excluded from operating activities		1,569,016	1,568,999	1,752,007

(b) Adjustments to net current assets in the Statement of Financial Activity

The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with *Financial Management Regulation* 32 to agree to the surplus/(deficit) after imposition of general rates.

		Last Year Closing 30 June 2022	This Time Last Year 30 June 2022	Year to Date 30 June 2023
Adjustments to net current assets				
Less: Reserves - restricted cash	11	(914,260)	(929,953)	(928,642)
Less: - Financial assets at amortised cost - self supporting loans	4	(41,680)	(39,157)	(7)
Add: Borrowings	9	182,510	2,273,379	(29,157)
Add: Provisions funded by Reserve	12	112,797	109,813	113,914
Add: Lease liabilities	10	20,870	0	0
Total adjustments to net current assets		(639,763)	1,414,082	(843,892)

(c) Net current assets used in the Statement of Financial Activity

Current assets

Cash and cash equivalents	2	2,308,253	1,307,145	2,578,196
Rates receivables	3	147,184	180,533	70,995
Receivables	3	104,216	58,048	101,786
Stock on Hand	4	27,731	54,625	20,003
Total Current Assets		2,587,383	1,600,351	2,770,980
Less: Current liabilities				
Payables	5	(349,337)	(274,210)	(372,303)
Borrowings	9	(182,510)	(2,273,379)	29,157
Contract liabilities	12	(689,109)	0	(681,621)
Lease liabilities	10	(20,870)	0	0
Provisions	12	(612,643)	(564,043)	(612,643)
Total Current Liabilities		(1,854,469)	(3,111,632)	(1,637,410)
Less: Total adjustments to net current assets	1(b)	(639,763)	1,414,082	(843,892)
Closing funding surplus / (deficit)		93,153	(97,201)	289,679

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

Description	Classification	Unrestricted	Restricted	Total Cash	Trust	Institution	Interest Rate	Maturity Date
		\$	\$	\$	\$			
Cash on hand								
Floats	Cash and cash equivalents	550		550	0			
Cash Deposits								
Municipal Bank Account	Cash and cash equivalents	1,674,195		1,674,195	0	Bendigo	0.00%	At Call
Trust Bank Account	Cash and cash equivalents	0	0	0	30,781	Bendigo	0.00%	
Medical Surgery Bank Account	Cash and cash equivalents		1,373	1,373				
Term Deposits								
Term Deposits - Reserve	Financial assets at amortised cost	0	609,732	609,732	0	Bendigo	2.75%	28/07/2023
Term Deposits	Financial assets at amortised cost	0	5,000	5,000	0	Bendigo	2.25%	26/07/2023
Term Deposits - Reserve	Financial assets at amortised cost	0	308,525	308,525	0	Bendigo	4.55%	17/10/2023
Term Deposits - Skeleton Weed A/L & LSI	Financial assets at amortised cost	0	10,385	10,385	0	Bendigo	4.75%	17/06/2024
Total		1,674,745	935,014	2,609,759	30,781			
Comprising								
Cash and cash equivalents		1,674,745	1,374	1,676,118	30,781			
Financial assets at amortised cost		0	933,641	933,641	0			
		1,674,745	935,015	2,609,759	30,781			

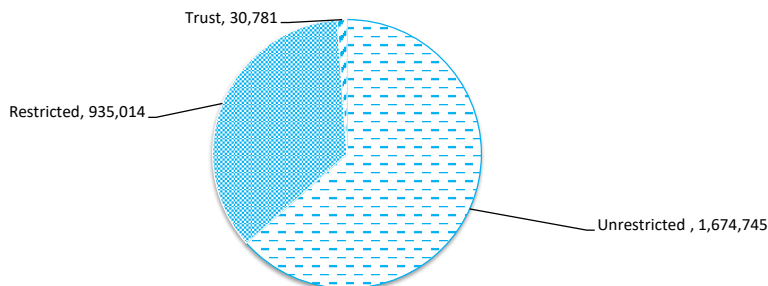
KEY INFORMATION

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value and bank overdrafts. Bank overdrafts are reported as short term borrowings in current liabilities in the statement of net current assets.

The local government classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Financial assets at amortised cost held with registered financial institutions are listed in this note other financial assets at amortised cost are provided in Note 4 - Other assets.



**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

**OPERATING ACTIVITIES
NOTE 3
RECEIVABLES**

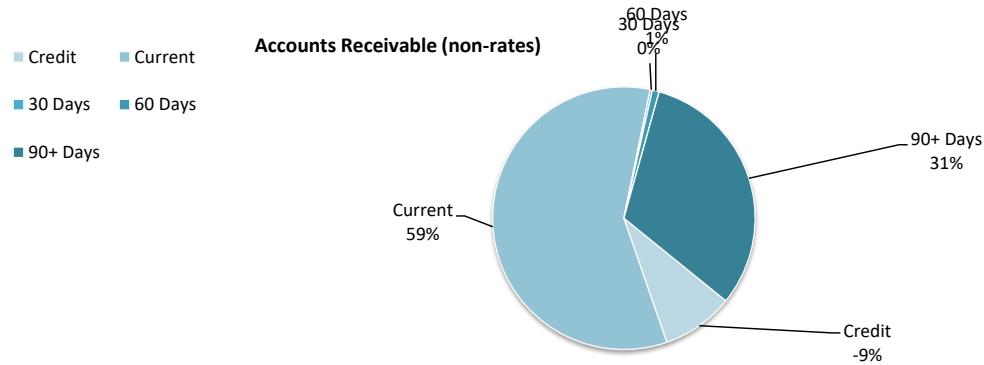
Rates receivable	30 June 2022	30 Jun 2023
	\$	\$
Opening arrears previous years	147,184	147,184
Levied this year	2,118,671	2,422,480
Less - collections to date	(2,118,671)	(2,498,669)
Equals current outstanding	147,184	70,995
Net rates collectable	147,184	70,995
% Collected	93.5%	97.2%

Receivables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Receivables - general	(4,962)	32,760	153	474	17,634	46,058
Percentage	(10.8%)	71.1%	0.3%	1%	38.3%	
Balance per trial balance						
Sundry receivable	0	46,058	0	0	0	46,058
GST receivable	0	55,721		0	0	55,721
Loans Club/Institutions - Current	0	7	0	0	0	7
Total receivables general outstanding						101,786

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for goods sold and services performed in the ordinary course of business. Receivables expected to be collected within 12 months of the end of the reporting period are classified as current assets. All other receivables are classified as non-current assets. Collectability of trade and other receivables is reviewed on an ongoing basis. Debts that are known to be uncollectable are written off when identified. An allowance for impairment of receivables is raised when there is objective evidence that they will not be collectible.



Other current assets	Opening Balance 1 July 2022	Asset Increase	Asset Reduction	Closing Balance 30 June 2023
	\$	\$	\$	\$
Inventory				
Stock On Hand	27,731	(7,728)	0	20,003
Total other current assets	27,731	(7,728)	0	20,003

Amounts shown above include GST (where applicable)

KEY INFORMATION

Inventory

Inventories are measured at the lower of cost and net realisable value.

Net realisable value is the estimated selling price in the ordinary course of business less the estimated costs of completion and the estimated costs necessary to make the sale.

Payables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Payables - general	0	(189,433)	0	0	0	(189,433)
Percentage	0%	100%	0%	0%	0%	
Balance per trial balance						
Sundry creditors	0	(280,868)	0	0	0	280,868
ATO liabilities		29,103				29,103
Gst Payable		20,180				20,180
Bonds & Deposits Held - CI		13,027				13,027
Total payables general outstanding						372,303

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other payables represent liabilities for goods and services provided to the Shire that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are normally paid within 30 days of recognition.

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023

OPERATING ACTIVITIES
NOTE 6
RATE REVENUE

General rate revenue	Budget							YTD Actual			
	Rate in \$ (cents)	Number of Properties	Rateable Value	Rate Revenue	Interim Rate	Back Rate	Total Revenue	Rate Revenue	Interim Rates	Back Rates	Total Revenue
RATE TYPE				\$	\$	\$	\$	\$	\$	\$	\$
Gross rental value											
GRV Residential	0.11880	123	1,350,994	160,498	0	0	160,498	160,498	2,739	0	163,237
GRV Commercial	0.12700	17	321,640	40,848	0	0	40,848	40,848	0	0	40,848
GRV Industrial	0.12790	11	80,636	10,313	0	0	10,313	10,313	0	0	10,313
GRV Urban Farmland	0.11350	18	220,896	25,072	0	0	25,072	25,072	0	0	25,072
Unimproved value											
UV Rural Zone 2	0.0059	54	25,866,000	152,092	0	0	152,092	152,092	0	0	152,092
UV Special Rural	0.0121	14	1,527,500	18,544	0	0	18,544	18,544	0	0	18,544
UV General Zone 3	0.0059	218	257,374,000	1,518,507			1,518,507	1,518,507	0	0	1,518,507
Sub-Total		455	286,741,666	1,925,875	0	0	1,925,874	1,925,874	2,739	0	1,928,613
Minimum payment	Minimum \$										
Gross rental value											
GRV Residential	1,025	96	553,875	98,400	0	0	98,400	98,400	0	0	98,400
GRV Commercial	950	13	37,597	12,350	0	0	12,350	12,350	0	0	12,350
GRV Industrial	595	7	12,675	4,165	0	0	4,165	4,165	0	0	4,165
GRV Urban Farmland	760	7	24,251	5,320	0	0	5,320	5,320	0	0	5,320
Unimproved value											
UV Rural Zone 2	800	18	2,166,500	14,400	0	0	14,400	14,400	0	0	14,400
UV Special Rural	1,130	4	327,000	4,520	0	0	4,520	4,520	0	0	4,520
UV General Zone 3	1,100	97	7,960,466	106,700	0	0	106,700	106,700	0	0	106,700
Sub-total		242	11,082,364	245,855	0	0	245,855	245,855	0	0	245,855
Amount from general rates							2,171,729				2,174,468
Ex-gratia rates							38,012				38,012
Total general rates							2,209,741		2,739		2,212,480
Specified area rates	Rate in \$ (cents)										
Sewerage Residential	8.792		23,520	206,790	0	0	206,790	206,790	0	0	206,790
Sewerage Religious Church			440	3,210	0	0	3,210	3,210	0	0	3,210
Total specified area rates			23,960	210,000	0	0	210,000	210,000	0	0	210,000
Total							2,419,741				2,422,480

KEY INFORMATION

Prepaid rates are, until the taxable event for the rates has occurred, refundable at the request of the ratepayer. Rates received in advance give rise to a financial liability. On 1 July 2020 the prepaid rates were recognised as a financial asset and a related amount was recognised as a financial liability and no income was recognised. When the taxable event occurs the financial liability is extinguished and income recognised for the prepaid rates that have not been refunded.

Capital acquisitions	Adopted Budget	Current Budget	YTD Budget	YTD Actual	YTD Actual Variance
	\$	\$	\$	\$	\$
Buildings	559,827	561,879	561,879	133,220	(428,659)
Plant and equipment	135,000	141,045	141,045	164,625	23,580
Infrastructure - roads	3,396,458	3,396,458	3,396,458	2,880,505	(515,953)
Infrastructure - sewerage	50,000	55,686	0	55,686	55,686
Infrastructure - footpaths	80,000	61,000	61,000	67,055	6,055
Infrastructure - other	172,000	200,986	200,986	64,071	(136,915)
Payments for Capital Acquisitions	4,393,285	4,417,054	4,361,368	3,365,162	(996,206)
Total Capital Acquisitions	4,453,851	4,417,054	4,361,368	3,365,162	(996,206)
Capital Acquisitions Funded By:					
	\$		\$	\$	\$
Capital grants and contributions	3,256,798	3,266,798	3,266,798	2,412,435	(854,363)
Cash backed reserves	914,260	914,260		9,382	
Reserves cash backed - Long Service Leave Reserve	2,972	2,972	0	0	0
Contribution - operations	8,689	233,024	944,570	788,800	(155,770)
Capital funding total	4,393,285	4,417,054	4,361,368	3,365,162	(1,005,588)

SIGNIFICANT ACCOUNTING POLICIES

All assets are initially recognised at cost. Cost is determined as the fair value of the assets given as consideration plus costs incidental to the acquisition. For assets acquired at no cost or for nominal consideration, cost is determined as fair value at the date of acquisition. The cost of non-current assets constructed by the local government includes the cost of all materials used in the construction, direct labour on the project and an appropriate proportion of variable and fixed overhead. Certain asset classes may be revalued on a regular basis such that the carrying values are not materially different from fair value. Assets carried at fair value are to be revalued with sufficient regularity to ensure the carrying amount does not differ materially from that determined using fair value at reporting date.

30/06/2023

30/06/2023

Account Description		Adopted Budget	Current Budget	YTD Budget	YTD Actual	Variance (Under)/Over
Land and Buildings						
48005	Replacement Server - Admin	45,000	40,000	40,000	31,114	8,886
98001	Capital housing Up grades	102,000	107,000	107,000	14,771	92,229
48003	Roofing Project - admin LRCIP	0	0	0	27,379	(27,379)
118005	Town Hall Ceiling Upgrade - LRCIP	0	0	0	750	
138001	Public Buildings - Capital upgrade projects	412,827	414,879	414,879	8,350	406,529
138003	Old Road Board Building - LRCIP	0	0	0	0	0
138004	Gum Toilets Upgrade - LRCIP	0	0	0	50,856	(50,856)
138005	Slater Homestead upgrade - LRCIP	0	0	0	0	0
Total		559,827	561,879	561,879	133,220	429,409
Plant & Equipment						
108001	Skeleton Weed Plant & Equipment	0	14,050	14,050	47,686	(33,636)
123907	Plant replacement - Small Tip Truck	50,000	40,000	40,000	40,000	0
123908	Plant replacement - Utility GO 039	0	0	0	0	0
123914	Turf Mower - Recreation Ground	45,000	43,500	43,500	43,444	56
123913	Miscellaneous Small Plant	10,000	10,000	10,000	0	10,000
123911	Small Plant - Mobile Traffic lights	30,000	33,495	33,495	33,495	0
Total		135,000	141,045	141,045	164,625	(23,580)
Infrastructure - Roads						
129904	EXPENSE - Regional Road Group Construction	1,054,435	1,054,435	1,054,435	1,063,755	(9,320)
129901	EXPENSE - R 2 R Construction	314,000	314,000	314,000	227,240	86,760
129910	Local Road and Community Infrastructure Program	50,000	50,000	50,000	0	50,000
129912	Black Spot Funding	180,000	180,000	180,000	9,384	170,616
129914	MRWA - Bridge Capital	152,000	152,000	152,000	0	152,000
129908	EXPENSE - Wheatbelt Secondary Freight Network	1,646,023	1,646,023	1,646,023	1,580,126	65,897
Total		3,396,458	3,396,458	3,396,458	2,880,505	515,953
Infrastructure - Footpaths						
129911	Local Road and Community Infrastructure Program (footpaths)	80,000	61,000	61,000	67,055	(6,055)
Total		80,000	61,000	61,000	67,055	(6,055)
Infrastructure - Sewerage						
108003	Upgrade to sewerage water pipe line LRCIP	50,000	55,686	0	55,686	0
Total		50,000	55,686	0	55,686	0
Infrastructure - Other						
118006	Anstey Park - Upgrade -LRCIP	172,000	172,000	172,000	35,085	136,915
118008	Construction of new cricket wicket 2023	0	28,986	28,986	28,986	0
Total		172,000	200,986	200,986	64,071	136,915
TOTALS		4,393,285	4,417,054	4,361,368	3,365,162	1,052,642

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

**FINANCING ACTIVITIES
NOTE 9
BORROWINGS**

Repayments - borrowings

Information on borrowings Particulars	Loan No.	1 July 2022	New Loans		Principal Repayments		Principal Outstanding		Interest Repayments	
			Actual	Budget	Actual	Original Budget	Actual	Budget	Actual	Original Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$
Housing										
Aged Housing Wollyam Street	114	141,407	0	0	18,807	18,778	122,600	122,629	7,168	20,410
Recreation and culture										
New Sports Pavilion	111	1,051,154	0	0	30,572	30,541	1,020,582	1,081,695	66,178	34,809
Retic Football/Hockey Ovals	113	15,501	0	0	15,487	14,990	0	30,490	610	340
Economic services										
Rural Community Centre	106	307,532	0	0	22,949	23,857	284,583	331,389	18,238	29,291
Bank Overdraft - subdivision - new loan	115	893,828	0	0	916,242	52,619	0	841,209	13,577	39,172
Bank Overdraft - subdivision Grange St- re financed	116	0	867,000	0	32,936	0	834,064	0	24,211	0
B/Fwd Balance		2,409,422	867,000	0	1,036,994	140,785	2,261,828	2,407,412	129,982	124,022
C/Fwd Balance		2,409,422	867,000	0	1,036,994	140,785	2,261,828	2,407,412	129,982	124,022
Self supporting loans										
Recreation and culture										
Self Supporting Loan MSC	110	159,125	0	0	41,674	41,681	117,451	117,445	9,439	9,734
Total		2,568,547	867,000	0	1,078,668	182,466	2,379,279	2,524,857	139,421	133,756
Current borrowings		182,466					\$29,157			
Non-current borrowings		2,386,081					2,350,122			
		2,568,547					2,379,279			

All debenture repayments were financed by general purpose revenue.

Self supporting loans are financed by repayments from third parties.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

**FINANCING ACTIVITIES
NOTE 9
BORROWINGS**

Repayments - borrowings

Information on borrowings Particulars	Loan No.	1 July 2022	New Loans		Principal Repayments		Principal Outstanding		Interest Repayments	
			Actual	Budget	Actual	Original Budget	Actual	Budget	Actual	Original Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$

KEY INFORMATION

All loans and borrowings are initially recognised at the fair value of the consideration received less directly attributable transaction costs. After initial recognition, interest-bearing loans and borrowings are subsequently measured at amortised cost using the effective interest method. Fees paid on the establishment of loan facilities that are yield related are included as part of the carrying amount of the loans and borrowings.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

**FINANCING ACTIVITIES
NOTE 10
LEASE LIABILITIES**

Movement in carrying amounts

Information on leases Particulars	Lease No.	1 July 2022	New Leases		Principal Repayments		Principal Outstanding		Interest Repayments	
			Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$
Other property and services										
GO040 Ford Escape (Blue)	6250509	109	0	0	973	69	0	40	25	0
GOSHIRE Ford Escape (White)	6250620	103	0	0	1,465	65	0	38	25	0
GO015 Ford Utility (WORKSMANAGER)	6463413	11,043	0	0	9,903	9,903	1,140	1,140	321	321
GO 040 Ford Escape (DCEO White)		0	0	30,283	5,481	5,416	24,802	24,867	733	694
GOSHIRE Ford Escape (CDO White)		0	0	30,283	4,156	5,416	26,127	24,867	607	694
Total		11,255	0	60,566	21,978	20,869	52,069	50,952	1,711	1,709
Current lease liabilities		20,870					0			
Non-current lease liabilities		47,302					46,194			
		68,172					46,194			

All lease repayments were financed by general purpose revenue.

KEY INFORMATION

At inception of a contract, the Shire assesses if the contract contains or is a lease. A contract is, or contains, a lease if the contract conveys the right to control the use of an identified asset for a period of time in exchange for consideration. At the commencement date, a right of use asset is recognised at cost and lease liability at the present value of the lease payments that are not paid at that date. The lease payments are discounted using that date. The lease payments are discounted using the interest rate implicit in the lease, if that rate can be readily determined. If that rate cannot be readily determined, the Shire uses its incremental borrowing rate.

All contracts classified as short-term leases (i.e. a lease with a remaining term of 12 months or less) and leases of low value assets are recognised as an operating expense on a straight-line basis over the term of the lease.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

**OPERATING ACTIVITIES
NOTE 11
CASH RESERVES**

Cash backed reserve

Reserve name	Opening Balance	Budget Interest Earned	Actual Interest Earned	Budget Transfers In (+)	Actual Transfers In (+)	Budget Transfers Out (-)	Actual Transfers Out (-)	Budget Closing Balance	Actual YTD Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$
Reserves cash backed - Long Service Leave Reserve	112,797	2,972	1,117	0	0		0	115,769	113,914
Reserves cash backed - Mortlock Lodge Reserve	3,172	82	31	0	0		0	3,254	3,203
Reserves cash backed- Plant Replacement Reserve	139,897	3,665	1,386	0	0	(40,000)	0	103,562	141,283
Reserves cash backed - Staff Housing Reserve	33,284	879	330	0	0	0	0	34,163	33,614
Reserves cash backed - Aged Care Reserve	119,725	3,153	1,427	0	0		0	122,878	121,152
Reserves cash backed - Vehicle Reserve	108,058	2,871	1,070	0	0		0	110,929	109,128
Reserves cash backed - Sewerage Reserve	327,377	8,619	3,243	0	0	0	0	335,996	330,620
Reserves cash backed - Community Bus Reserve	54,250	1,422	537	0	0		0	55,672	54,787
Reserves cash backed - LCDC Reserve	10,452	271	104	0	0		0	10,723	10,556
Reserves cash backed - SW LAG Officer AL/LSL Reserve	5,248	0	137	0	5,000	0	0	5,248	10,385
	914,260	23,934	9,382	0	5,000	(40,000)	0	898,194	928,642

KEY INFORMATION

Other current liabilities	Note	Opening Balance 1 July 2022	Liability Increase	Liability Reduction	Closing Balance 30 June 2023
		\$	\$	\$	\$
Contract liabilities					
- operating	13	689,109	(0)	(7,488)	681,621
Total unspent grants, contributions and reimbursements		689,109	(0)	(7,488)	681,621
Provisions					
Annual leave		266,410	0	0	266,410
Long service leave		346,233	0	0	346,233
Total Provisions		612,643	0	0	612,643
Total other current assets		1,301,752	(0)	(7,488)	1,294,264

KEY INFORMATION

Provisions

Provisions are recognised when the Shire has a present legal or constructive obligation, as a result of past events, for which it is probable that an outflow of economic benefits will result and that outflow can be reliably measured.

Provisions are measured using the best estimate of the amounts required to settle the obligation at the end of the reporting period.

Employee benefits

Short-term employee benefits

Provision is made for the Shire's obligations for short-term employee benefits. Short-term employee benefits are benefits (other than termination benefits) that are expected to be settled wholly before 12 months after the end of the annual reporting period in which the employees render the related service, including wages, salaries and sick leave. Short-term employee benefits are measured at the (undiscounted) amounts expected to be paid when the obligation is settled.

The Shire's obligations for short-term employee benefits such as wages, salaries and sick leave are recognised as a part of current trade and other payables in the calculation of net current assets.

Other long-term employee benefits

The Shire's obligations for employees' annual leave and long service leave entitlements are recognised as provisions in the statement of financial position.

Long-term employee benefits are measured at the present value of the expected future payments to be made to employees. Expected future payments incorporate anticipated future wage and salary levels, durations of service and employee departures and are discounted at rates determined by reference to market yields at the end of the reporting period on government bonds that have maturity dates that approximate the terms of the obligations. Any remeasurements for changes in assumptions of obligations for other long-term employee benefits are recognised in profit or loss in the periods in which the changes occur. The Shire's obligations for long-term employee benefits are presented as non-current provisions in its statement of financial position, except where the Shire does not have an unconditional right to defer settlement for at least 12 months after the end of the reporting period, in which case the obligations are presented as current provisions.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

NOTE 13

OPERATING GRANTS AND CONTRIBUTIONS

Operating grants, subsidies and contributions revenue

Provider	Adopted Budget Revenue	YTD Budget	Current Budget	YTD Revenue Actual
	\$	\$	\$	\$
Operating grants and subsidies				
General purpose funding				
GRANTS - General Purpose	93,020	123,020	123,020	725,547
GRANTS - Untied Road Grants	48,073	98,073	98,073	555,864
Law, order, public safety				
REVENUE - ESL Grant	45,000	120,000	120,000	40,918
Recreation & Culture				
REVENUE - Other Recreation & Sport - No GST	1,100	1,100	1,100	22,630
Community amenities				
REVENUE - Other Grant Funding	145,000	160,000	160,000	669,983
Transport				
REVENUE - Direct Grant	100,000	105,500	105,500	105,370
Economic services				
REVENUE - Other Economic Services	15,000	15,000	15,000	8,872
Other property and services				
Various Contributions	209,263	30,536	317,190	213,847
	656,456	653,229	939,883	2,343,030

	Non operating grants, subsidies and contributions revenue					
	Adopted Budget Revenue	Current Budget	YTD Budget	YTD Revenue Actual	YTD Expenditure Actual	YTD Unspent Contract Liability
	\$		\$	\$	\$	\$
Non-operating grants and subsidies						
General purpose funding						
Grants - Federal Government	796,530	796,530	796,530	263,456	143,727	0
Transport						
Revenue - Grants Regional Road Group	478,495	478,495	478,495	492,195	1,063,755	0
Revenue - Grant Wheatbelt Secondary Freig	1,684,956	1,684,956	1,684,956	1,419,544	1,580,126	0
Revenue - Grants R 2 R	272,817	272,817	272,817	227,240	227,240	0
Revenue - Grants Black Spot	24,000	24,000	24,000	0	9,384	0
Revenue - Grants Pathways	0	0	0	0	67,055	0
Revenue - Grants Bridge Construction	0	0	0	0	0	0
Economic services						
Revenue - Pioneer Pathways	0	10,000	10,000	10,000	10,000	0
	3,256,798	3,266,798	3,266,798	2,412,435	3,101,287	0

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date Actual materially.

The material variance adopted by Council for the 2022-23 year is \$10,000 or 10.00% whichever is the greater.

Reporting Program	Var. \$	Var. %	Timing/ Permanent	Explanation of Variance
	\$	%		
Revenue from operating activities				
Governance	30,810	45.31%	▲	100% Grant Commission payment was made at the end of June 23
General purpose funding - rates	(188,996)	(8.78%)		The rates include the sewerage rates as well.
General purpose funding - other	1,052,475	42.30%	▲	100% Grant Commission payment was made at the end of June 23
Law, order and public safety	(175,662)	(49.58%)	▼ Timing	Dependent on receiving the funds from DFES for the bush fire brigades
Health	44,602	7.91%		Within material variance
Education and welfare	(424)	(70.67%)		Within material variance
Housing	(41,120)	(14.96%)	▼	dependent on the timing of rental payments funding was received for the extra skeleton weed officers that the shire will manage the LAGS (Lower lockhart, Naremben & Yilgarn)
Community amenities	(56,189)	(5.12%)		Permanent
Recreation and culture	(16,591)	(12.60%)	▼	Final payment for bike grant received.
Transport	(459,208)	(74.49%)	▼ Timing	dependent on the timing of MRD funding for the Road works yet to be received
Economic services	(89,748)	(23.33%)	▼	Dependent on the caravan revenue and when it is received.
Other property and services	(31,087)	(30.78%)	▼	More plant hire than budgeted
Expenditure from operating activities				
Governance	46,836	19.60%	▲	dependent on the timing of the fortnightly salaries are paid - yet to carry out depreciation as not all end of year has been completed.
General purpose funding	(9,885)	(9.41%)		Within material variance- yet to carry out depreciation as not all end of year has been completed. More expenditure on protective clothing for the BFB members timing of the training of the members- yet to carry out depreciation as not all end of year has been completed.
Law, order and public safety	105,847	18.68%	▲	
Health	4,549	0.69%		Within material variance- yet to carry out depreciation as not all end of year has been completed.
Education and welfare	795	4.62%		Within material variance- yet to carry out depreciation as not all end of year has been completed.
Housing	163,631	36.56%	▲ Timing	dependent on when the works were budgeted for- yet to carry out depreciation as not all end of year has been completed.
Community amenities	1,198	0.10%		Within material variance- yet to carry out depreciation as not all end of year has been completed.
Recreation and culture	28,143	2.86%		Within material variance- yet to carry out depreciation as not all end of year has been completed.
Transport	(377,498)	(20.94%)	▼ Timing	dependent on when the works are completed and budgeted for. Higher road maintenance expenditure than expected.- yet to carry out depreciation as not all end of year has been completed.
Economic services	19,495	3.34%		Within material variance- yet to carry out depreciation as not all end of year has been completed.
Other property and services	(158,349)	(185.00%)	▼ Timing	Dependent on the timing of fuel and oils being ordered and paid for.- yet to carry out depreciation as not all end of year has been completed.
Investing activities				
Proceeds from non-operating grants, subsidies and contributions	(854,363)	(26.15%)	▼	Dependent on when the grants are applied for and when the projects are completed.
Proceeds from disposal of assets	44,545	40.50%	▲	dependent on the sale of the assets and what is received.
Proceeds from financial assets at amortised cost - self supporting loans	0	0.00%		Within material variance
Payments for financial assets at amortised cost - self supporting loans	0	0.00%		Withi material variace
Payments for property, plant and equipment and infrastructure	996,206	22.84%	▲	Dependent on the timing of the Capital works program
Financing activities				
Loan to Medical Surgery	0	0.00%		Within material variance
Transfer from reserves	0	0.00%		Within material variance
Payments for principal portion of lease liabilities	(1,109)	(5.31%)		Within material variance
Repayment of debentures	(896,202)	(491.16%)	▼	Within material variance
Transfer to reserves	9,552	39.91%		More Interest received than expected.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

**NOTE 15
BUDGET AMENDMENTS**

Amendments to original budget since budget adoption. Surplus/(Deficit)

GL Code	Description	Council Resolution	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
				\$	\$	\$	\$
	Budget adoption		Opening surplus/(deficit)			(67,005)	(119,850)
31001	RATES - GRV		Operating Revenue		2,000	0	(117,850)
31008	RATES - Instalment Interest		Operating Revenue		1,000	0	(116,850)
32001	GRANTS - General Purpose		Operating Revenue		30,000	0	(86,850)
32002	GRANTS - Untied Road Grants		Operating Revenue		50,000		(36,850)
32008	REVENUE - Other General Purpose - No GST		Operating Revenue		0	(15,000)	(51,850)
42006	REVENUE - Administration General - No GST		Operating Revenue		18,000	0	(33,850)
43002	REVENUE - Other Governance - No GST		Operating Revenue		20,000	0	(13,850)
51001	REVENUE - ESL Grant		Operating Revenue		75,000	0	61,150
51003	REVENUE - ESL Collected		Operating Revenue		10,000	0	71,150
51020	REVENUE - Other Fire Prevention Income		Operating Revenue		2,000	0	73,150
51022	REVENUE - ESL Penalty Interest		Operating Revenue		350	0	73,500
74002	REVENUE - Surgery Billings		Operating Revenue		0	(90,000)	(16,500)
91004	REVENUE - Staff Housing		Operating Revenue		2,000	0	(14,500)
91005	REVENUE - Rent Staff Housing		Operating Revenue		7,000	0	(7,500)
93002	REVENUE - Community Housing - No GST		Operating Revenue		1,000	0	(6,500)
102002	REVENUE - Other Grant Funding		Operating Revenue		15,000	0	8,500
102004	REVENUE - Grant SW LAG Narembeen		Operating Revenue		208,500	0	217,000
102005	REVENUE - Grant SW LAG Yilgarn		Operating Revenue		130,000	0	347,000
102006	REVENUE - Grant SW LAG Lower Lockhart		Operating Revenue		152,500	0	499,500
102007	REVENUE - Grant SW LAG Central Wheatbelt		Operating Revenue		36,000	0	535,500
103115	REVENUE - Town Planning		Operating Revenue		7,000	0	542,500
113203	REVENUE - Jennacubbine Go Karts		Operating Revenue		2,000	0	544,500
113204	REVENUE - Goomalling Go Karts		Operating Revenue		300	0	544,800
113210	REVENUE - Football Club		Operating Revenue		30,000	0	574,800
113212	REVENUE - Cricket Club		Operating Revenue		500	0	575,300
121008	REVENUE - Grants Bridge Construction		Operating Revenue		30,000	0	605,300
122005	REVENUE - Direct Grant		Operating Revenue		5,500	0	610,800
124001	REVENUE - DOT Licensing		Operating Revenue		6,500	0	617,300
132001	REVENUE - Caravan Park Charges		Operating Revenue		15,000	0	632,300

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

**NOTE 15
BUDGET AMENDMENTS**

Amendments to original budget since budget adoption. Surplus/(Deficit)

GL Code	Description	Council Resolution	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
				\$	\$	\$	\$
132002	REVENUE - Caravan Park Chalets		Operating Revenue		10,000	0	642,300
132021	REVENUE - Pioneer Pathways		Operating Revenue		10,000	0	652,300
134067	REVENUE - Mirabelle Rental		Operating Revenue		0	(3,160)	649,140
141001	REVENUE - Plant Hire & Material Sales		Operating Revenue		500	0	649,640
142001	REVENUE - Public Works Overhead		Operating Revenue		1,500	0	651,140
31109	EXPENSE - Rates General		Operating Expenses		4,000	0	655,140
32105	EXPENSE - Other General Purpose - GST Incl		Operating Revenue		1,900	0	657,040
41115	EXPENSE - Members of Council - GST Incl		Operating Expenses		10,000	0	667,040
41120	EXPENSE - Administration Building		Operating Expenses		0	(1,500)	665,540
41121	EXPENSE - Audit		Operating Expenses		0	(5,000)	660,540
42130	EXPENSE - Administration General		Operating Expenses		75,000	0	735,540
42140	EXPENSE - Administration Allocation		Operating Expenses		0	(80,000)	655,540
43101	EXPENSE - Other Governance		Operating Expenses		1,000	0	656,540
43102	EXPENSE - AROC		Operating Expenses		500	0	657,040
51102	EXPENSE - ESL Grant - Clothing & Accessories		Operating Expenses		0	(63,500)	593,540
51103	EXPENSE - ESL Grant - Vehicle Maintenance		Operating Expenses		0	(10,500)	583,040
51104	EXPENSE - ESL Grant - Building Maintenance		Operating Expenses		2,500	0	585,540
51107	EXPENSE - CESM		Operating Expenses		0	(5,000)	580,540
51112	EXPENSE - ESL Grant - Utilities & Taxes		Operating Expenses		1,500	0	582,040
51121	EXPENSE - ESL Grant - Equipment		Operating Expenses		1,000	0	583,040
51122	EXPENSE - ESL Remitted		Operating Expenses		0	(10,000)	573,040
51123	EXPENSE - Other Fire Prevention		Operating Expenses		0	(11,700)	561,340
52107	EXPENSE - Animal Control		Operating Expenses		0	(250)	561,090
53105	EXPENSE - Other Law, Order & Public Safety		Operating Expenses		850	0	561,940
53107	EXPENSE - CCTV		Operating Expenses		0	(800)	561,140
72121	EXPENSE - Health Inspection		Operating Expenses		4,000	0	565,140
73100	MOSQUITO CONTROL		Operating Expenses		0	(2,600)	562,540
73101	EXPENSE - Analytical Services		Operating Expenses		750	0	563,290
74102	EXPENSE - Surgery		Operating Expenses		76,900	0	640,190
84104	EXPENSE - Other Welfare		Operating Expenses		1,500	0	641,690

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

**NOTE 15
BUDGET AMENDMENTS**

Amendments to original budget since budget adoption. Surplus/(Deficit)

GL Code	Description	Council Resolution	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
				\$	\$	\$	\$
91103	EXPENSE - 13 High Street		Operating Expenses		0	(700)	640,990
91104	EXPENSE - 7 Forward Street		Operating Expenses		750		641,740
91121	EXPENSE - 8 Forrest Street		Operating Expenses		0	(372)	641,368
91122	EXPENSE - 45 James Street		Operating Expenses		1,250	0	642,618
91198	EXPENSE - Other Staff Housing		Operating Expenses		7,000	0	649,618
92131	EXPENSE - Unit 2 Hoddy Street		Operating Expenses		0	(500)	649,118
92132	EXPENSE - Unit 3 Hoddy Street		Operating Expenses		0	(21,500)	627,618
92137	EXPENSE - 44 Hoddy Street		Operating Expenses		1,000	0	628,618
92138	EXPENSE - 46 Hoddy Street		Operating Expenses		1,000	0	629,618
92140	EXPENSE - 50 Hoddy Street		Operating Expenses		500	0	630,118
93103	EXPENSE - 73A James Street		Operating Expenses		3,500	0	633,618
93112	EXPENSE - 41 High Street		Operating Expenses		0	(750)	632,868
93113	EXPENSE - 35 Throssell Street		Operating Expenses		500	0	633,368
93198	EXPENSE - Other Housing General		Operating Expenses		8,000	0	641,368
101100	EXPENSE - Household Waste		Operating Expenses		1,000	0	642,368
101101	EXPENSE - Goomalling Tip		Operating Expenses		0	(47,000)	595,369
101103	EXPENSE - Refuse Control - Town Streets		Operating Expenses		0	(6,000)	589,369
101107	EXPENSE - Commercial Waste		Operating Expenses		1,000	0	590,369
102153	Expense - Skeleton Weed LAG Naremben		Operating Expenses		0	(208,500)	381,869
102154	Expense - Skeleton Weed LAG Yilgarn		Operating Expenses		0	(130,000)	251,869
102155	Expense - Skeleton Weed LAG Lower Lockhart		Operating Expenses		0	(152,500)	99,369
102156	Expense - Skeleton Weed LAG Central Wheatbelt		Operating Expenses		0	(36,000)	63,369
103315	EXPENSE - Town Planning		Operating Expenses		0	(9,000)	54,369
104301	EXPENSE - Goomalling Cemetery		Operating Expenses		0	(7,500)	46,869
105104	EXPENSE - Public Conveniences Goomalling		Operating Expenses		0	(13,250)	33,619
106100	EXPENSE - Sewerage Treatment Plant		Operating Expenses		0	(3,250)	30,369
106101	EXPENSE - Sewerage Mains Maintenance		Operating Expenses		0	(5,000)	25,369
106102	EXPENSE - Sewerage Pump Stations		Operating Expenses		0	(6,500)	18,869
106103	EXPENSE - Sewerage Imhoff & Primary Dam		Operating Expenses		1,500	0	20,369
106104	EXPENSE - Sewerage Irrigation Dam		Operating Expenses		2,500	0	22,869

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

**NOTE 15
BUDGET AMENDMENTS**

Amendments to original budget since budget adoption. Surplus/(Deficit)

GL Code	Description	Council Resolution	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
				\$	\$	\$	\$
106105	EXPENSE - Other Sewerage & Septic Charges		Operating Expenses		1,500	0	24,369
111102	EXPENSE - Goomalling Hall		Operating Expenses		0	(3,000)	21,369
111103	EXPENSE - Jennacubbine Hall		Operating Expenses		1,500	0	22,869
111104	EXPENSE - Konnongorring Hall		Operating Expenses		1,000	0	23,869
111108	EXPENSE - Sporting Complex - Tennis		Operating Expenses		1,000	0	24,869
112110	EXPENSE - Swimming Pool		Operating Expenses		0	0	24,869
113250	EXPENSE - Parks & Gardens		Operating Expenses		0	(41,000)	(16,131)
113252	EXPENSE - Gymnasiun		Operating Expenses		1,809	0	(14,322)
113253	EXPENSE - Horse & Pony Club		Operating Expenses		0	(1,000)	(15,322)
113258	EXPENSE - Recreation Dams		Operating Expenses		3,750	0	(11,572)
113259	EXPENSE - Community Resource Centre		Operating Expenses		999	0	(10,573)
113262	EXPENSE - Changerooms		Operating Expenses		500	0	(10,073)
113263	EXPENSE - Hockey & Cricket Club Shed		Operating Expenses		500	0	(9,573)
113267	EXPENSE - Tennis & Netball Courts		Operating Expenses		0	(2,000)	(11,573)
113269	EXPENSE - Youth Zone Activities		Operating Expenses		5,000	0	(6,573)
113270	EXPENSE - Other Recreation		Operating Expenses		3,500	0	(3,073)
114103	EXPENSE - Goomalling Library (CRC)		Operating Expenses		1,300	0	(1,773)
115100	EXPENSE - Other Culture		Operating Expenses		1,000	0	(773)
115103	EXPENSE - Maintenance - Museums		Operating Expenses		0	(6,750)	(7,523)
115105	EXPENSE - Other Culture		Operating Expenses		2,000	0	(5,523)
122110	EXPENSE - Road Maintenance		Operating Expenses		0	(51,500)	(57,023)
122111	EXPENSE - Other Maintenance		Operating Expenses		0	(4,000)	(61,023)
122301	EXPENSE - Kerbing & Drainage		Operating Expenses		0	(4,500)	(65,523)
122304	EXPENSE - Goomalling Depot		Operating Expenses		0	(9,500)	(75,023)
122306	EXPENSE - Street Trees & Watering		Operating Expenses		0	(2,500)	(77,523)
122307	EXPENSE - Signs General		Operating Expenses			(3,000)	(80,523)
122320	EXPENSE - Footpaths		Operating Expenses		7,000		(73,523)
122324	EXPENSE - Street Cleaning		Operating Expenses		0	(1,500)	(75,023)
122327	EXPENSE - Gardeners Depot		Operating Expenses		500	0	(74,523)
124150	EXPENSE - DOT Licensing		Operating Expenses		4,000	0	(70,523)

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

**NOTE 15
BUDGET AMENDMENTS**

Amendments to original budget since budget adoption. Surplus/(Deficit)

GL Code	Description	Council Resolution	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
				\$	\$	\$	\$
131101	EXPENSE - Weed Control		Operating Expenses		2,750		(67,773)
131106	OTHER RURAL EXPENDITURE		Operating Expenses		1,000	0	(66,773)
132101	EXPENSE - Area Promotion		Operating Expenses		0	(1,000)	(67,773)
132103	EXPENSE - Caravan Park		Operating Expenses		0	(1,000)	(68,773)
132104	EXPENSE - Pioneer Pathways		Operating Expenses		0	(8,000)	(76,773)
132109	EXPENSE - Avon Valley		Operating Expenses		1,000	0	(75,773)
133101	EXPENSE - Building Services		Operating Expenses		1,000	0	(74,773)
133102	EXPENSE - BCITF Levy		Operating Expenses		2,000	0	(72,773)
133103	EXPENSE - BSL Levy		Operating Expenses		1,500	0	(71,273)
134109	EXPENSE - Water Supply & Standpipes		Operating Expenses		4,375	0	(66,898)
134201	EXPENSE - Lot39		Operating Expenses		750	0	(66,148)
134202	EXPENSE - Railway Station		Operating Expenses		0	(2,500)	(68,648)
134206	Expense - Gumnuts		Operating Expenses		0	(577)	(69,225)
134208	EXPENSE - Community Bus General		Operating Expenses		1,500	0	(67,725)
134251	Expense - Other Economics		Operating Expenses		4,000	0	(63,725)
141100	EXPENSE - Private Works		Operating Expenses		0	(9,000)	(72,725)
142112	EXPENSE - Works Training		Operating Expenses		5,500	0	(67,225)
142120	EXPENSE - Public Works Overhead		Operating Expenses		0	(6,250)	(73,475)
142121	EXPENSE - Occ Health & Safety		Operating Expenses		1,000	0	(72,475)
142190	EXPENSE - PWO Allocated		Operating Expenses		0	(31,000)	(103,475)
143130	EXPENSE - Plant Operation		Operating Expenses		0	(30,000)	(133,475)
48005	Replacement Server - Admin		Capital Expenses		5,000	0	(128,475)
98001	Capital housing Up grades		Capital Expenses		0	(5,000)	(133,475)
108001	Skeleton Weed Plant & Equipment		Capital Expenses		0	(14,050)	(147,525)
123907	Plant replacement - Small Tip Truck		Capital Expenses		10,000	0	(137,525)
123911	Small Plant - Mobile Traffic lights		Capital Expenses		0	(3,495)	(141,020)
123914	Turf Mower - Recreation Ground		Capital Expenses		1,500	0	(139,520)
129911	Local Road and Community Infrastructure Program (footpaths)		Capital Expenses		19,000	0	(120,520)

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 JUNE 2023**

**NOTE 15
BUDGET AMENDMENTS**

Amendments to original budget since budget adoption. Surplus/(Deficit)

GL Code	Description	Council Resolution	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
				\$	\$	\$	\$
108003	Upgrade to sewerage water pipe line LRCIP		Capital Expenses		0	(5,686)	(126,206)
118008	Construction of new cricket wicket 2023		Capital Expenses		0	(28,986)	(155,192)
138001	Public Buildings - Capital upgrade projects		Capital Expenses		0	(2,052)	(157,244)
	Rounding				(1)		(157,245)
				0	1,188,783	(1,293,183)	



9.10 SCHEDULE OF ACCOUNTS PAID 1 JUNE TO 30 JUNE

File Reference	Not applicable
Disclosure of Interest	Nil
Applicant	Not Applicable
Previous Item Numbers	No Direct
Date	12 July 2023
Author	Deb Horton, Accounts Payable
Authorising Officer	Natalie Bird, Finance Manager
Attachments	
1. Schedule of Payments – June 2023 2. Corporate Credit Card Statements May 2023	

Summary

FUND VOUCHERS AMOUNT

EFT 5482 to 5675	\$279,746.42
Direct Debits 8566 to 8570	\$60,890.45
Cheques 15464 to 15474 *	\$114,071.29
Payroll JNL 6827 & 6837	\$108,917
Super DD16165 & 16305	\$18,787.90
TOTAL	\$582,413.06

*Cheque15465 cancelled

Voting Requirements

Simple Majority

OFFICER'S RECOMMENDATION

That the Council:

Approve vouchers from the Municipal Fund and Trust Fund as detailed:

FUND VOUCHERS AMOUNT

EFT 5482 to 5675	\$279,746.42
Direct Debits 8566 to 8570	\$60,890.45
Cheques 15464 to 15474 *	\$114,071.29
Payroll JNL 6827 & 6837	\$108,917
Super DD16165 & 16305	\$18,787.90
TOTAL	\$582,413.06

*Cheque15465 cancelled



10. ELECTED MEMBERS MOTION OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

Nil

11. NEW BUSINESS OF AN URGENT NATURE AGREED TO BY RESOLUTION OF COUNCIL

12. MATTERS BEHIND CLOSED DOORS

The meeting be closed to the public in accordance with section 5.23 *Local Government Act 1995*, 5.5.23(2))

Matters affecting employee(s)
Personal affairs of any person(s), including financial and/or commercial contracts
Commercial Confidentiality
Legal advice/matters
Public safety/security matters where public knowledge may be prejudicial.



13. INFORMATION BULLETIN

13.1 INWARD CORRESPONDENCE LISTING

Tahnee Bird – Community Development Officer

Date Received	From	Description	File Number	Distribution
06/06/2023	Robert Dew	Avon Midland Zone Meeting – 23 June 2023 (Agenda)		Email 06/06/2023
20/06/2023	Main Roads WA	Regional Road Group Report		Email Cr Haywood 20/06/2023
21/06/2023	Robert Dew	Avon Midland Zone Meeting – Agenda Attachments – 23 June		Email 21/06/2023
21/06/2023	Shire of Toodyay	Cybersecurity Training		Email 22/06/2023
22/06/2023	DLGSC	Local Matters June 2023		Email 22/06/2023

SHIRE OF GOOMALLING
 AGENDA FOR ORDINARY MEETING OF COUNCIL
 WEDNESDAY, 19 JULY 2023



13.2 ACTION LIST
 Peter Bentley

Item No	Action required	Status		Comments
		In prog	complete	
32	<ul style="list-style-type: none"> Give Mr Reiger a further 60 days to comply with the Demolition Order; and If not completed within this timeframe, then Council will carry out the demolition of the house that has been subject to previous orders of Council, in accordance to <i>Section 140 of the Health (Miscellaneous Provisions) Act 1911</i> and recover the cost from the owners. 	✓		
34	<ul style="list-style-type: none"> Give Mr Reiger a further 60 days to comply with the Clean Up Order; and If not completed within this timeframe, then Council will carry out the Clean-up of Lot 239 that has been subject to previous orders of Council, in accordance to <i>Section 140 of the Health (Miscellaneous Provisions) Act 1911</i> and recover the cost from the owners. 	✓		



13.3 CEO'S REPORT
Peter Bentley

CEO's Report



13.4 WORKS MANAGER'S REPORT
 David Long

WORKS CREW REPORT – JUNE 2023

DATE	WORK DESCRIPTION
1	Calingiri rd. - Culvert maintenance, cart aggregate tailings to stockpile/Works Requests - Complete various deliveries and jobs/Townsite - Clear drains, grates and culverts of leaves and debris/Jennacubbine Hall - Clean and restock for hire event.
2	Rubbish run/Refuse site maintenance/Railway Tce public toilets - clean/Calingiri rd. - Culvert maintenance, cart aggregate tailings to stockpile/Cemetery - Burial duties/Works Requests - Complete various deliveries and jobs.
3	WEEKEND
4	WEEKEND
5	PUBLIC HOLIDAY
6	Rubbish run/Refuse site maintenance/Railway Tce public toilets - clean.
7	Jones Rd - Repair collapsed culvert/Smith St - clear blocked culvert, prune overhanging trees.
8	Townsite - Complete various private works requests/Oak Park - maintenance grade and patch holes/Calingiri - Clean blocked out culverts, install signs and guideposts where required.
9	Rubbish run/Refuse site maintenance/Railway Tce public toilets - clean/Oak Park - Culvert maintenance/Works depot - Install drainage along asphalt parking area.
10	WEEKEND
11	WEEKEND
12	Rubbish run/Refuse site maintenance/Railway Tce public toilets - clean/Bolgart East - Repair guide posts where required/Donald rd. - prune overhanging vegetation/High St - Patch holes and washouts with cold mix/George St - Prune overhanging vegetation.
13	Bolgart East - Install drainage and gravel sheet clay areas/Calingiri Rd - SLK 21.26 - 24.76 - Sweep off excess aggregate/Unsealed road network - inspect, repair signage and guideposts where required- prune vegetation blocking signs, prune overhanging vegetation on verges.
14	Rubbish run/Refuse site maintenance/Railway Tce public toilets - clean/Bolgart East - Gravel sheet clay areas/Meckering - Culvert maintenance/Jennacubbine Hall - Clean and restock for hire event.

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15	Smith - Gravel sheet clay areas, patch sand holes/Unsealed road network - inspect, repair signage and guideposts where required- prune vegetation blocking signs, prune overhanging vegetation on verges.
16	Rubbish run/Refuse site maintenance/Railway Tce public toilets - clean/Beecroft - culvert maintenance/Meckering - Bitumen patch potholes in bitumen, culvert maintenance/Unsealed road network - inspect, repair signage and guideposts where required- prune vegetation blocking signs, prune overhanging vegetation on verges/Bolgart East - Gravel sheet clay areas.
17	WEEKEND
18	WEEKEND
19	Rubbish run/Refuse site maintenance/Railway Tce public toilets - clean/Maintenance grading, stockpiling materials/Meckering - Bitumen patch potholes in bitumen, culvert maintenance/Calingiri - Inspect and replace signs and guide posts where required/Eaton St - RTR - SLK - 0.47 - 0.71 - Asphalt unsealed shoulder on kerbside to complete widening.
20	Dowering Konnongorring - Pruning overhanging vegetation/Townsite - cleaning drains and grates of debris/Meckering - Culvert maintenance/Saddler - Culvert maintenance.
21	Rubbish run/Refuse site maintenance/Railway Tce public toilets - clean/Maintenance grading, gravel patching pot holes on unsealed roads, stockpiling materials/Meckering - Backfill wash outs on unsealed shoulders, prune overhanging vegetation.
22	Maintenance grading, gravel patching pot holes on unsealed roads, stockpiling materials/Unsealed road network - inspect, repair signage and guideposts where required-prune vegetation blocking signs, prune overhanging vegetation on verges/Townsite - Clear silt from face of kerb lines.
23	Rubbish run/Refuse site maintenance/Railway Tce public toilets - clean/Maintenance grading, gravel patching pot holes on unsealed roads, stockpiling materials/Unsealed road network - inspect, repair signage and guideposts where required- prune vegetation blocking signs, prune overhanging vegetation on verges/Go shire 1 - Pre start and clean, refuel for hire/Works Requests - Complete various deliveries and jobs.
24	WEEKEND
25	WEEKEND
26	Rubbish run/Refuse site maintenance/Railway Tce public toilets - clean/Works Requests - Complete various deliveries and jobs/Meckering rd. - SLK 10.40 to 21.90 -Survey and pegging of road centreline and clearing zone as per Native Vegetation clearing permit conditions.
27	Maintenance grading, gravel patching pot holes on unsealed roads, stockpiling materials/Works Requests - Complete various deliveries and jobs/Townsite - Right Of Ways - backfill potholes and sheet clay sections/Tyndall rd. - Inspect and replace guideposts and signs where required, prune vegetation in front of signage/Meckering rd. -

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	SLK 10.40 to 21.90 -Survey and pegging of road centreline and clearing zone as per Native Vegetation clearing permit conditions.
28	Rubbish run/Refuse site maintenance/Railway Tce public toilets - clean/Maintenance grading, gravel patching pot holes on unsealed roads, stockpiling materials/Townsite - Rake and remove leaves and debris from street verges, repair hole in Forrest St bitumen/Unsealed road network - inspect, repair signage and guideposts where required-prune vegetation blocking signs, prune overhanging vegetation on verges/Meckering rd. - SLK 10.40 to 21.90 -Survey and pegging of road centreline and clearing zone as per Native Vegetation clearing permit conditions.
29	Dowerin - Konnongorring - Unsealed shoulder maintenance on bitumen sections/Long Forrest - Inspect and replace guideposts and signs where required, prune vegetation in front of signage/Meckering rd. - SLK 10.40 to 21.90 -Survey and pegging of road centreline and clearing zone as per Native Vegetation clearing permit conditions.
30	Rubbish run/Refuse site maintenance/Railway Tce public toilets - clean/Meckering rd. - SLK 10.40 to 21.90 -Survey and pegging of road centreline and clearing zone as per Native Vegetation clearing permit conditions/Dowerin - Konnongorring - Unsealed shoulder maintenance on bitumen sections/Mobile Traffic Lights - Induction and training on use/Unsealed road network - inspect, repair signage and guideposts where required-prune vegetation blocking signs, prune overhanging vegetation on verges.

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MAINTENANCE GRADING REPORT – JUNE 2023

SOUTH WEST

SOUTH EAST

ROAD NAME	DATE	ROAD NAME	DATE
ANDERSON	27.7.22	ABBATOIR	10.6.22
BEBAKINE	5.7.23	BERRING	18.5.23
BEECROFT	9.6.23	BERRING E	22.2.23
BOLGART EAST	14.6.23	BOASE	15.2.23
CHITIBIN	27.7.22	BROOKSBANK	9.3.23
CLARKE	17.2.23	DICK ST	28.3.23
CLAY PIT	24.3.23	GEORGE ST	28.3.23
EATON	16.5.23	HAGBOOM STH	7.10.22
GOON GOONING	23.1.23	HAYWOOD ST	28.3.23
HUGHES	8.12.22	HULLOGINE	16.3.22
JENNACUBBINE E	15.5.23	KUNZIA WAY	29.3.23
KROE HUT	28.3.23	MARTINDALE WAY	29.3.23
LAWLER	7.2.23	PATTERSON	28.6.23
LEESON	28.7.22	PEAR TREE DRIVE	2.6.23
LONG FORREST	17.3.23	ROBERT	16.5.23
MC LEAN	16.5.23	SLATER ST	29.3.23
MUGGIN MUGGINS	7.7.22	SADLER	3.7.23
ROSSMORE	11.5.23	SALMON GUM WAY	1.6.23
ROWLES	23.3.23	SHORT ST	28.3.23
SAWYER	7.9.22	SMITH ST	2.6.23
SHEEN	6.7.22	UCARTY	30.6.23
SMITH	19.6.23	YORK GUM WAY	2.6.23
TYNDALL	6.7.23	WATERHOUSE WAY	2.6.23
WONGAMINE	4.7.23	WHITE ST	28.3.23
		WILLIAM ST	29.3.23

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NORTH WEST

ROAD NAME	DATE
BURNT HILL	1.5.23
BURABADJI	2.3.23
CACTI	25.2.22
CARTER	21.4.23
COULTHARD	18.3.22
DEW	17.5.22
DONALD	12.6.23
GLATZ	2.11.22
HAYWOOD	21.3.22
JONES	1.5.23
KONNONGORRING W	6.7.23
LORD	21.6.23
MORREL	26.4.23
PINKWERRY	27.4.23
WHITFIELD	28.4.23

NORTH EAST

ROAD NAME	DATE
BERRING	21.2.23
BOTHERLING E	23.6.23
BURABADJI E	22.6.23
BYBERDING	14.4.23
CARTER EAST	21.4.23
COOPER	19.4.23
DEAN	13.4.23
DOWERIN-KONNONGORRING	28.6.23
EGAN	21.2.23
EVANS	14.2.22
FAIRLEE	19.4.23
GABBY QUOI QUOI	12.4.23
GRIFFITH WHALEY	18.4.23
KALGUDDER W	20.4.23
KING	28.2.23
LAKE	23.2.23
MOUNTJOY	13.4.23
NAMBLING NTH	22.2.23
OAKPARK	9.6.23
PRYOR	23.2.23
SAWYER	14.2.22
SHELL	23.2.23
SEIGERT	13.4.23
SLATER	21.2.23
SPARK	28.2.23
WHITE	14.4.23
WILLIAMS	17.4.23



13.5 PARKS & GARDENS REPORT
 David Long

PARKS & GARDENS JUNE 2023

DATE	WORK DESCRIPTION
1	Shire Offices - Blow down verandas and access areas, rake and remove leaves and debris from rear carpark/Swimming Pool - Edge and mow lawns, garden bed maintenance/Hockey oval - mow and line mark.
2	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse, rake and remove leaves from drains and kerbs/Cemetery - Rake and remove leaves, limbs and debris, blow down access paths/Football oval - mow and line mark/Townsite Lawns - edge and mow lawns on all parks and street verges.
3	WEEKEND
4	WEEKEND
5	PUBLIC HOLIDAY
6	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/7 Forwards St - garden bed and yard maintenance/Townsite Lawns - edge and mow lawns on all parks and street verges/Millsteed - Garden bed maintenance.
7	CRC - Remove leaves and debris from access ways and surrounds/41 high - garden bed maintenance, mow yards/APU - garden bed maintenance/Patterson rd. gravel pit - Weed control as per clearing permit conditions/Football and Hockey ovals - mow, weed control.
8	Swimming pool - garden bed and surrounds maintenance/Patterson rd. gravel pit - Weed control as per clearing permit conditions/Hockey and Football ovals - mow , broad leaf control.
9	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Railway Tce - Repair sunken paving on footpath/Townsite - weed control/ Anstey Park garden bed maintenance/Pavilion + Gym - edge and mow, weed trim, clean access paths and areas/GSC oval surrounds - weed control.
10	WEEKEND
11	WEEKEND
12	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Shire Offices - Blow down verandas and access areas, rake and remove leaves and debris from rear carpark/Railway Tce - Island garden bed maintenance/Swimming Pool - Garden bed

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	and surrounds maintenance/Townsite - weed control on street verges, vacant blocks/Pavilion + Gym - broadleaf weed control, mow and edge/Cricket Pitch - mow, fertilise.
13	Townsite - weed control on street verges, vacant blocks/Hockey and football ovals - fertilise with energy turf/Swimming pool - mow lawns, garden bed maintenance, rake and remove leaves, limbs and debris in carpark area.
14	Patterson rd. gravel pit - Weed control as per clearing permit conditions/Jennacubbine Hall - Assist with cleaning/32 Eaton St - garden bed maintenance/Tennis pavilion - edge and mow lawns, weed control in lawns/Oval Playground - rake and remove leaves and debris.
15	APU - Garden bed maintenance/Forrest St - rake and remove leaves, limbs and debris from street verge/Road network. - Weed control on verges and culverts.
16	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Bridges. - Weed and vegetation control/Football and hockey ovals - mowing..
17	WEEKEND
18	WEEKEND
19	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/s/Shire Offices - Blow down verandas and access areas, rake and remove leaves and debris from rear carpark, prune shrubs/Road network. - Weed control on verges and culverts.
20	Bridges. - Weed and vegetation control/Tennis pavilion - Broadleaf control on lawns/Football and hockey oval - line mark playing fields/Mortlock Lodge - edge and mow lawns, garden and yard maintenance.
21	Road network. - Weed control on verges and culverts/Pavilion = Gym - edge and mow lawns, weed control, blow down access areas/Hockey oval - mowing, weed trimming/CRC - Remove leaves and debris from access ways and surrounds/Railway station - garden bed maintenance.
22	APU - edge and mow lawns, garden and yard maintenance/Koomal Village - edge and mow lawns, garden and yard maintenance/Bridges. - Weed and vegetation control/Railway Tce - Roadside garden bed maintenance, weed control/Pavilion + Gym - edge and mow, weed trim, clean access paths and areas/Tennis pavilion - edge and mow lawns, clean access paths and areas.
23	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/APU - Garden bed maintenance/Forrest St - Rake and remove, leaves and debris from verges/Millstead park - Garden bed maintenance/Anstey Park - garden bed maintenance/Hockey and football ovals - Prepare for home game.
24	WEEKEND

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25	WEEKEND
26	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Entry Statements - Garden bed maintenance, pruning shrubs/Railway Tce - weed control, garden bed maintenance.
27	Entry Statements - Garden bed maintenance, pruning shrubs/Townsite - weed control on street verges.
28	Anstey park - mow lawns, weed control on lawns/Millsteed Park - Mow lawns, weed control on lawns and garden beds/Ovals Playground - Rake and remove debris from soft fall and surrounds/Cricket Pitch and turf nursery - mow and fertilise.
29	Bridges. - Weed and vegetation control/Football and Hockey oval - mow, weed trim surrounds.
30	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Railway Tce - weed control and garden bed maintenance on roadside garden beds/Football and Hockey ovals - Mark out playing fields/Ovals Playground - Rake and remove debris from surrounds.

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13.6 PLANT REPORT
 David Long

JUNE 2023

				KMS/HRS
FLEET	MACHINE	KM/HRS START	KM/HRS END	COMPLETED
GO 009	UTE	71725	-73729	-2004
GO 010	J DEERE	0	0	0
GO 015	UTE	108680	-112795	-4115
GO 016	UTE	200544	-200560	-16
GO 017	TRUCK	239532	-239590	-58
GO 018	TRUCK	283325	-284046	-721
GO 019	TRUCK	571483	-574428	-2945
GO 020	12 H	17035	-17121	-86
GO 021	12 M	10436	-10491	-55
GO 022	STEEL ROLLER	4919	-4919	0
GO 023	UTE	217888	-218578	-690
GO 024	LOADER	9965	-10034	-69
GO 025	MULTI ROLLER	2911	-2919	-8
GO 026	UTE	232916	-235931	-3015
GO 027	TRUCK	284610	-286229	-1619
GO 028	BACKHOE	903	-910	-7
GO 033	COASTER BUS	186020	-186020	0
GO 034	MASSEY	7220	-7222	-2
GO 037	UTE	112781	-113400	-619
GO 038	UTE	177601	-177733	-132
GO 039	UTE	293440	-293460	-20
GO 040	SUV	0	0	0
GO 041	TRUCK	165401	-167766	-2365
GO 042	UTE	138230	-140107	-1877
GO 183	UTE	131596	-135228	-3632
GO SHIRE	SUV	0	0	0
GO SHIRE1	BUS	299911	-301224	-1313
GO 020	CAT 12 H	steering arm, service		
GO 021	CAT 12 M	Service		
GO 025	STEEL ROLLER	service + repairs		
GO 041	TRUCK	service, hoist		
GO 020	CAT 12 H	steering arm, service		
GO 021	CAT 12 M	Service		
GO 025	STEEL ROLLER	service + repairs		



13.7 BUILDING MAINTENANCE REPORT

David Long

BUILDING MAINTENANCE JUNE 2023

DATE	WORK DESCRIPTION
1	Caravan Park - Replace lock on washing machine/Jennacubbine Hall - Install smoke alarms/Public toilets - Clear blockage.
2	Pump station-Maintenance/Imhoff-maintenance./Railway Station - Replace water heater/Football oval - Remove rusted metal seating form boundary.
3	WEEKEND
4	WEEKEND
5	Public Holiday
6	RDO
7	Pump station-Maintenance/Imhoff-maintenance./Sewer line - Pit maintenance and flushing after rain fall events/Jennacubbine Hall - Clear drain blockage and leach drain.
8	Lot 39 B Railway Tce - Toilet door repairs/Works depot - Repair leaking taps, improve drainage/43 Throssell - Clean for rental.
9	Pump station-Maintenance/Imhoff-maintenance./73 A James St - Relocating tenant/Works depot - Install drainage along the asphalt parking area.
10	WEEKEND
11	WEEKEND
12	Pump station-Maintenance/Imhoff-maintenance./GSC Pavilion - Hot water system repairs/Works depot - Back fill washout and level staff car parking area/39 Throssell - Painting doors and frames/14 High St - Door repairs from vandalism damage.
13	32 Eaton - Remove front garden bed, landscape area/Works Requests - Complete deliveries, works from request forms.
14	Gumnuts - change door lock, repair door handles and windows/Works depot - sliding door repairs.
15	Mortlock Lodge - Unit 3 - Clean for tenant to move in/Mortlock Lodge - remove pavers and rocks, install cracker dust and level, compact/Shire Office - paint new door.
16	Pump station-Maintenance/Imhoff-maintenance./Mortlock Lodge - Rear yard maintenance and upgrade.
17	WEEKEND
18	WEEKEND
19	Pump station-Maintenance/Imhoff-maintenance.
20	Town Hall - maintenance works and clean/Chlorinator - Assist with fault finding on discharge pump/Shire office - door replacement/WHS - Fire extinguisher test and tagging.
21	Golf club - Ablution maintenance check/WHS - Fire extinguisher test and tagging/OP shop - Repair retaining wall on fence line.
22	Town Hall - Sweep and mop floor after ceiling removal, remove debris/Opshop - Install sign on front window/Golf club - general repairs/CRC - Clear blocked drain.
23	Pump station-Maintenance/Imhoff-maintenance./Town Hall - Set up materials for hire event, clean and restock/Golf Club - Toilet cistern repairs/Shire Offices - Install new door/WHS - Fire extinguisher test and tagging.
24	WEEKEND
25	WEEKEND
26	Pump station-Maintenance/Imhoff-maintenance./WHS - Fire extinguisher test and tagging.
27	WHS - Fire extinguisher test and tagging/Sewer - Clear blockage on James St/CRC -

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	repair library door/Shire Offices - Cistern repairs male toilets/59 Railway Tce - Inspect to organise refurbishment materials and works.
28	Sewer - Clear blockages on James St and Caravan Park/Chlorinator - Replace non return valve.
29	Staff Leave
30	Pump station-Maintenance/Imhoff-maintenance./Sewer - Maintenance on pits and main lines.



13.8 COMMUNITY DEVELOPMENT OFFICER
 Tahnee Bird

MEETINGS/EVENTS/TRAINING

22 June	Opshop Meeting
27 June	Avon Valley – Tourism Meet -up
13 July	EHO Meeting – Annual Food Inspections, Disability Access and Inclusion reports and Plan update

GRANTS

STATUS	DETAILS
Pending	<p>Quinlan street (\$TBC)</p> <ul style="list-style-type: none"> The next round of WABN funding we will make application for a new pathways on Quinlan Street in the 2024-25/2025-26 round. The project will deliver a new pathways on Quinlan Street between Hoddy and Lockyer (as well as Hoddy Street crossing) in line with the Quinlan Street Road Closure/youth space development to ensure appropriate connectivity to the recreation ground. Road closure cannot be funded as part of the program, however any new pathways can be included. Public consultation notice on website and in the Endeavour, June Newsletter seeking feedback in regards to the road closure.
Current	<p>Goomalling Gumnuts – Softfall</p> <p>The softfall at the Gumnuts facility is in desperate need of replacement, ECRO advised it is a matter of urgency and was almost going to list the facility as non-compliant.</p> <p>I am assisting gumnuts with a funding strategy and project plan with the aim of replacement by September this year if FRRR funding is approved.</p> <p>Total cost is \$23,200 including Council's in-kind removal of existing softfall which reduces the cash cost to Gumnuts by \$1650.</p> <p>Goomalling Community Opshop \$1000 confirmed Chalice Mines \$8000 confirmed Bendigo \$1000 confirmed</p> <p>TBC FRRR \$10,000</p>



OPEN PROJECTS/EVENTS	
STATUS	DETAILS
Current/ongoing	<p>Pioneers' Pathway PP is a collaborative marketing initiative marketed in the Australia's Golden Outback – from Toodyay to Merredin following the prospecting route to the Goldfields.</p> <hr/> <p>Refer to item 9.1 for receiving of Advisory Committee minutes and recommendations to Council including extension to EO contract and the MOU for a further 12 months.</p>
Ongoing/ongoing	<p>Experience Perth – Avon Tourism</p> <ul style="list-style-type: none"> - Hello Perth Planner for 2024 to be developed – over 40,000 were distributed in 2023 <p>Avon Valley Tourism Catch- up notes 27 June</p> <ul style="list-style-type: none"> • All Shires agreed to 24FY partnership contribution of: <ul style="list-style-type: none"> - \$1k each DP membership - \$5k each marketing cooperative funds <p>Action: Esmeralda to email DP to confirm in principal support from 5 LGA's for 24FY Avon Valley marketing plan</p> • DP Marketing calendar tabled <ul style="list-style-type: none"> - Question raised regarding the inclusion of 2024 PCCS under trade shows. Laura from DP confirmed via 27/6 email that this could be considered within the 24FY marketing funds - Question raised regarding the reprint of the 2024 Holiday Planner and its cost inclusion. Laura from DP confirmed via 27/6 email that costings for the planner would be considered separate to the marketing cooperative funds - • 24FY planning discussions <ul style="list-style-type: none"> - Reinvigorating the Avon Valley website. Discussed strategies to rebuild in house vs outsourcing work at cost - Discussed current workloads and what would be achievable in house using existing members available time <ol style="list-style-type: none"> 1. Agreed to investigate website build and content management suppliers to assist inform cost requirements and achievability 2. If the website domain can be reinstated or is still available (or if a new domain needs to be established + annual and reoccurring costs) 3. What content management systems are cost achievable to operate the website – can these be managed in house or do they require outsource assistance to get started and then be managed by AV group 4. Build and management requirements and breakdown of potential 24FY costs 5. Investigate funding opportunities to assist launch the website and associated costs <p>Action: Esmeralda to investigate website management</p>



	<p><i>models and provide info to AV group prior to next meeting</i></p> <ul style="list-style-type: none"> - 24FY calendar of activities <ol style="list-style-type: none"> 1. What themes and activities do we want to target our collective social messaging out to (see attached rough draft outlining the themes discussed yesterday) Targeting the same messaging and themes through our existing LG instagram, facebook, newsletters etc will help reinforce these themes using a whole of Avon Valley approach 2. Hello Perth Avon Valley planner reprints and business inclusions. Suggested to group to make contact with Sarah Clozza (Hello Perth) to check if there is room for inclusion in reprint <p><i>Action: AV group to consider themes detailed when preparing and posting content to LG socials throughout the FY</i></p>
Design	<p>Anstey Park Revitalisation</p> <ul style="list-style-type: none"> • Midland Brick have confirmed they will supply materials for the project • Goomalling & Districts Community Bank has confirmed funding \$50,000 • Nature Play to adjust costing to include Wheatbelt Workcamp and shire labour components • Work to commence January/February 2024 and will be complete within approximately two weeks.
Planning	<p>Club Light Program 2023-24 increase of funding scope, applicants can apply for up to 50% instead of 33% which is a massive increase.</p> <p><u>Scope</u> Upgrade lighting to meet current Australian Standards for playing their respective sports and retrofit to LED to improve energy efficiency.</p> <p>Goomalling Bowling Club We're working with Julie to complete their application to be endorsed at the August Council meeting and submitted by 31 August with works completed by June 2024. Club to pay 50% since the CSRFF program has increased (from 33%). Council will need to explain in the application why they aren't contributing to the project. Application to be submitted in the June/July round</p> <p>Goomalling Football Club GRANT APPROVED - \$97,000+ Since ministerial announcements have taken place works can commence.</p> <p>CSRFF - Swimming Pool TBC upgrades to large bowl – scope to be developed. Some LRCIP funding is allocated remedial works.</p>

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PLANS	
Due 2 August 2023	RecordKeeping Plan
Due 31 August 2023	Disability Access & Inclusion Plan
PIPELINE PROJECTS	
STATUS	DETAILS
On hold	Reconciliation Action Plan
On hold	Old Native Reserve preservation and interpretation
On hold	Healing Stories from Koomal
On hold	She Did
On hold	Youth Precinct
On hold	Cricket training nets

Upcoming events



14. MEETING CLOSURE