

Shire of Goomalling



COUNCIL MEETING AGENDA

September 2022





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NYOONGAR ACKNOWLEDGEMENT

We acknowledge this land that we meet on today is part of the traditional lands of the Nyoongar people and that we respect their spiritual relationship with their country. We also acknowledge the Nyoongar Ballardong people as the custodians of the greater Goomalling/Koomal area and that their cultural and heritage beliefs are still important to the living Nyoongar Ballardong people today.

NOTICE OF MEETING

Meeting No. 8 of 2022 of the Shire of Goomalling Council to be held in the Council Chambers, Administration Office, 32 Quinlan Street, Goomalling on Wednesday 21 September 2022 beginning at 3.00pm.

1. DECLARATION OF OPENING & ANNOUNCEMENT OF VISITORS

2. RECORD OF ATTENDANCE/APOLOGIES & APPROVED LEAVE OF ABSENCE

2.1. Attendance

Council	President	Cr Barry Haywood
	Vice President	Cr Julie Chester
	Councillor	Cr Mark Ashton
	Councillor	Cr Christine Barratt
	Councillor	Cr Casey Butt
	Councillor	Cr Roland Van Gelderen
	Councillor	Cr Brendon Wilkes
Administration	Chief Executive Officer	Mr Peter Bentley
	Finance Manager	Miss Natalie Bird
	Works Manager	Mr David Long

2.2. Apologies

2.3. Approved Leave of Absence

3. DECLARATION OF:

- FINANCIAL INTEREST
- MEMBERS IMPARTIALITY INTEREST
- PROXIMITY INTEREST

4. PUBLIC QUESTION TIME

5. APPLICATION FROM MEMBERS FOR LEAVE OF ABSENCE

6. CONFIRMATION AND RECEIVING OF MINUTES & BUSINESS ARISING

6.1 Ordinary Meeting of Council held Wednesday 17 August 2022

7. ANNOUNCEMENTS BY THE PRESIDING PERSON WITHOUT DISCUSSION

8. PETITIONS/DEPUTATIONS/PRESENTATIONS/SUBMISSIONS



9. OFFICERS' REPORTS

9.1 SCHEDULE OF ACCOUNTS PAID 1 AUGUST TO 31 AUGUST 2022

File Reference	Not applicable
Disclosure of Interest	Nil
Applicant	Not Applicable
Previous Item Numbers	No Direct
Date	12 September 2022
Author	Deb Horton, Accounts Payable
Authorising Officer	Natalie Bird, Finance Manager
Attachments	
1. Schedule of Payments – August 2022 2. Corporate Credit Card Statements July 2022	

Summary

FUND VOUCHERS AMOUNT

EFT 4573 to 4652	\$313,577.18
Direct Debits 8525 to 8528	\$43,468.87
Cheques 15397 to 15409	\$39,034.24
Payroll JNL 6713 & 6715	\$95,858.00
Super DD14305 & 14337	\$15,867.58
TOTAL	\$507,805.87

Voting Requirements

Simple Majority

OFFICER'S RECOMMENDATION

That the Council:

Approve vouchers from the Municipal Fund and Trust Fund as detailed:

FUND VOUCHERS AMOUNT

EFT 4573 to 4652	\$313,577.18
Direct Debits 8525 to 8528	\$43,468.87
Cheques 15397 to 15409	\$39,034.24
Payroll JNL 6713 & 6715	\$95,858.00
Super DD14305 & 14337	\$15,867.58
TOTAL	\$507,805.87



9.2 FINANCIAL REPORT FOR AUGUST 2022

File Reference	Not Applicable
Disclosure of Interest	Nil
Applicant	Shire of Goomalling
Previous Item Numbers	No Direct
Date	12 September 2022
Author	Natalie Bird, Finance Manager
Authorising Officer	Natalie Bird, Finance Manager
Attachments	Monthly Financial Report to 31 August 2022

Summary

In accordance with the *Local Government (Financial Management) Regulations 1996*, to follow is the presentation of the Monthly Financial Reports to Council.

Background

Monthly Financial Reports are to be presented to Council and are to be received by Council resolution.

Statutory Environment

Local Government Act 1995 – Section 6.4 (as amended)

Local Government (Financial Management) Regulations 1996 – Clause 34 and 35

Policy Implications

No specific policy regarding this matter.

Financial Implications

Ongoing management of Council funds

Strategic Implications

Shire of Goomalling Community Strategic Plan 2019-2028

4.1.4

Provide reporting processes in a transparent, accountable and timely manner

Voting Requirements

Simple Majority

OFFICER'S RECOMMENDATION

That the Council:

Receive the Monthly Financial Report to 31 August 2022

SHIRE OF GOOMALLING
MONTHLY FINANCIAL REPORT
(Containing the Statement of Financial Activity)
For the period ending 31 August 2022

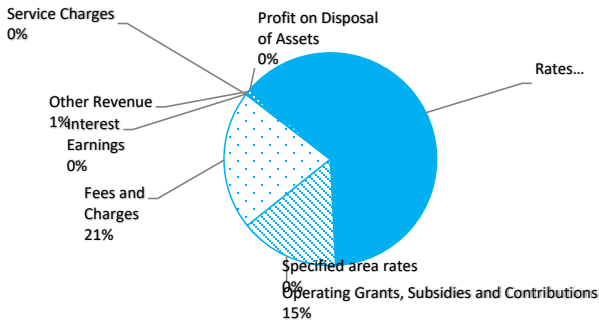
LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996

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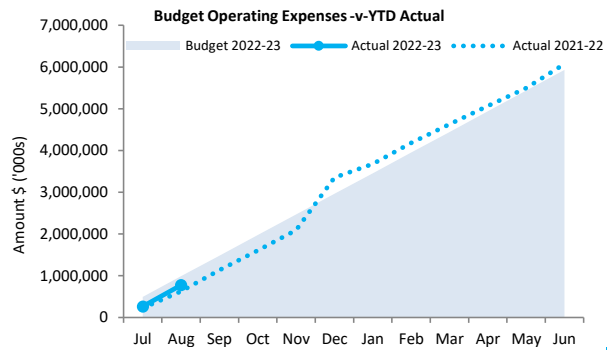
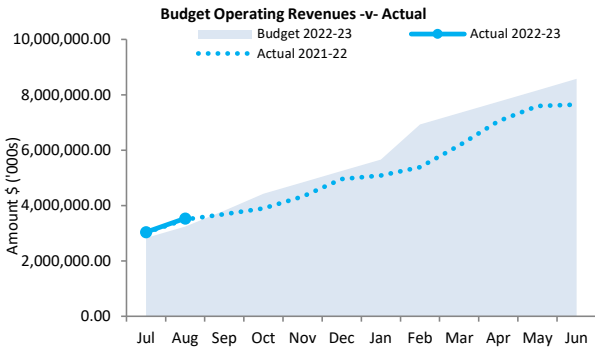
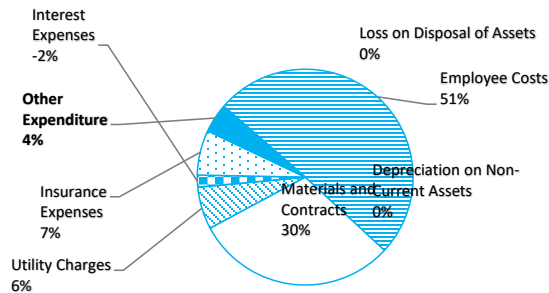
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OPERATING ACTIVITIES

OPERATING REVENUE

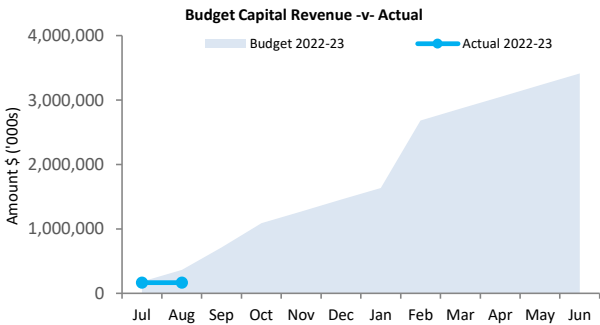


OPERATING EXPENSES

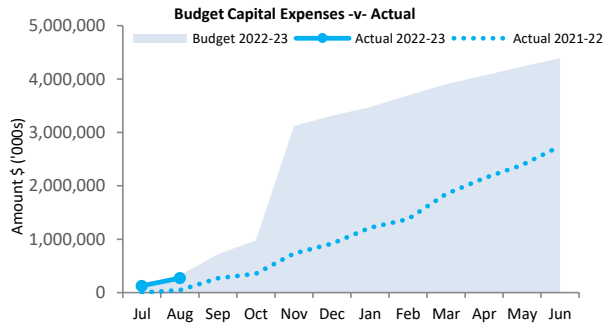


INVESTING ACTIVITIES

Non-Operating Grants



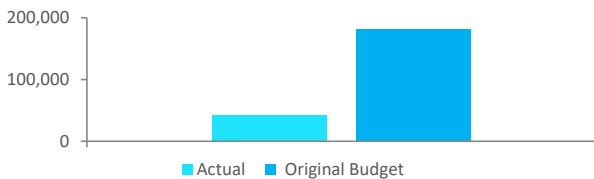
CAPITAL EXPENSES



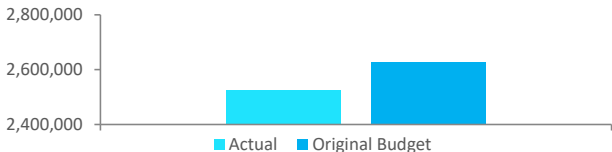
FINANCING ACTIVITIES

BORROWINGS

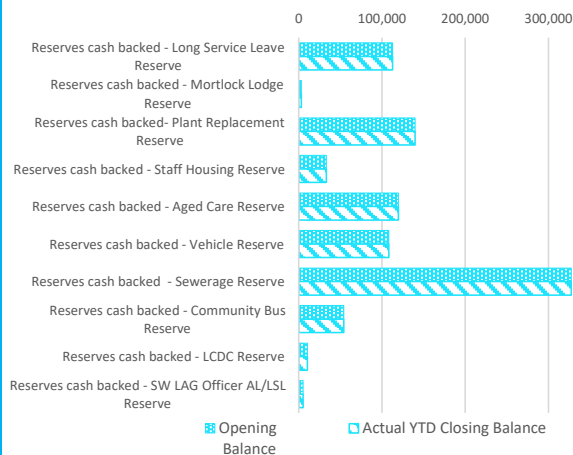
Principal Repayments



Principal Outstanding



RESERVES



Funding surplus / (deficit) Components				
Funding surplus / (deficit)				
	Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
Opening	\$0.16 M	\$0.16 M	\$0.15 M	(\$0.02 M)
Closing	(\$0.05 M)	\$3.63 M	\$2.54 M	(\$1.09 M)
Refer to Statement of Financial Activity				
Cash and cash equivalents		Payables		Receivables
	\$3.82 M	% of total	\$0.14 M	% Outstanding
Unrestricted Cash	\$1.86 M	48.9%	Trade Payables	\$0.06 M
Restricted Cash	\$1.95 M	51.1%	Over 30 Days	0.0%
			Over 90 Days	0%
Refer to Note 2 - Cash and Financial Assets		Refer to Note 5 - Payables		Refer to Note 3 - Receivables
Rates Receivable \$0.86 M 66.3%				
Trade Receivable \$0.13 M				
Over 30 Days 90.1%				
Over 90 Days 81.8%				
Key Operating Activities				
Amount attributable to operating activities				
Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	
\$0.80 M	\$3.46 M	\$2.60 M	(\$0.86 M)	
Refer to Statement of Financial Activity				
Rates Revenue		Operating Grants and Contributions		Fees and Charges
YTD Actual	\$2.42 M	% Variance	YTD Actual	\$0.47 M
YTD Budget	\$2.15 M	12.5%	YTD Budget	\$0.11 M
			% Variance	347.7%
Refer to Note 6 - Rate Revenue		Refer to Note 13 - Operating Grants and Contributions		Refer to Statement of Financial Activity
YTD Actual \$2.66 M		YTD Budget \$0.27 M		% Variance 141.0%
Key Investing Activities				
Amount attributable to investing activities				
Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	
(\$0.83 M)	\$0.04 M	(\$0.16 M)	(\$0.20 M)	
Refer to Statement of Financial Activity				
Proceeds on sale		Asset Acquisition		Non-Operating Grants
YTD Actual	\$0.00 M	%	YTD Actual	\$0.27 M
Adopted Budget	\$0.11 M	(100.0%)	Adopted Budget	\$4.39 M
			% Spent	(93.8%)
Refer to Note 7 - Disposal of Assets		Refer to Note 8 - Capital Acquisition		Refer to Note 8 - Capital Acquisition
YTD Actual \$0.17 M		YTD Budget \$3.41 M		% Received (95.1%)
Key Financing Activities				
Amount attributable to financing activities				
Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	
(\$0.19 M)	(\$0.02 M)	(\$0.04 M)	(\$0.02 M)	
Refer to Statement of Financial Activity				
Borrowings		Reserves		Lease Liability
Principal repayments	\$0.04 M	Reserves balance	\$0.91 M	Principal repayments
Interest expense	\$0.01 M	Interest earned	\$0.00 M	Interest expense
Principal due	\$2.53 M			Principal due
Refer to Note 9 - Borrowings		Refer to Note 11 - Cash Reserves		Refer to Note 10 - Lease Liabilities

This information is to be read in conjunction with the accompanying Financial Statements and notes.

KEY TERMS AND DESCRIPTIONS
FOR THE PERIOD ENDED 31 AUGUST 2022

STATUTORY REPORTING PROGRAMS

Shire operations as disclosed in these financial statements encompass the following service orientated activities/programs.

PROGRAM NAME AND OBJECTIVES

ACTIVITIES

GOVERNANCE

To provide a decision making process for the efficient allocation of resources

To include the activities of members of Council and the administration support available to the Council for the provision of governance of the district. Other costs relate to assisting elected members and ratepayers on matters which do not concern specific Council services.

GENERAL PURPOSE FUNDING

To collect revenue to allow for the provision of services.

Rates, general purpose government grants and interest revenue.

LAW, ORDER, PUBLIC SAFETY

To provide services to help ensure a safer and environmentally conscious community.

Supervision and enforcement of various local laws relating to fire prevention, animal control, community crime prevention and other aspects of public safety including emergency services.

HEALTH

To provide an operational framework for environmental and community health.

Inspection of food premises and food control. Provision of Medical Surgery and Doctor. Also noise control and waste disposal compliance

EDUCATION AND WELFARE

To provide services to disadvantaged persons including the elderly, children and youth.

Maintenance of child minding centre, playgroup centre, senior citizens centre. Provision and maintenance of youth services.

HOUSING

To provide and maintain housing for staff, aged and community housing projects operated by Joint Venture with the Department of Housing.

Staff housing, provision of general rental accommodation to the public when not required by staff.

COMMUNITY AMENITIES

To provide necessary services as required by the community.

Rubbish collection and recycling, operation of disposal sites, administration, maintenance & operation of the Shire Townsite Sewerage Scheme. Administration of the Shire of Goomalling Town Planning Scheme. Administration, maintenance & operation of the Goomalling public cemeteries, public toilets & the Goomalling Community Bus.

RECREATION AND CULTURE

To establish & effectively manage infrastructure and resources which will help the social wellbeing of the community.

Maintenance and operation of public halls, swimming pool, sporting pavilions, parks and gardens, recreation centre, sports playing surface areas and reserves including football oval, hockey oval, tennis courts, bowling greens. Contribution to the operation of the Goomalling Public Library, museums and cultural facilities.

TRANSPORT

To provide safe, effective and efficient transport services to the community.

Construction and maintenance of streets, roads, footpaths, drainage & signs. Maintenance and operation of street lights, works depot and aerodrome. Cleaning of streets and provision and maintenance of street trees. Purchase, maintenance and operation of plant.

ECONOMIC SERVICES

To help promote the Shire and its economic wellbeing.

Tourism and area promotion including the maintenance and operation of the Shire of Goomalling Caravan Park facilities and Motel Units. Provision of rural services including building control, standpipes, noxious weeds and vermin control. Maintenance costs associated with the Goomalling Community Resource Centre.

OTHER PROPERTY AND SERVICES

To monitor and control Council's overheads operating accounts.

Private works, plant repairs and operations. Housing and Engineering operations costs.

**STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2022**

STATUTORY REPORTING PROGRAMS

	Ref	Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(a)	Var.
	Note						
		\$	\$	\$	\$	%	
Opening funding surplus / (deficit)	1(c)	160,154	160,154	145,126	(15,028)	(9.38%)	
Revenue from operating activities							
Governance		30,000	4,998	16,708	11,710	234.29%	▲
General purpose funding		2,420,268	2,244,823	2,275,118	30,295	1.35%	
Law, order and public safety		266,950	44,486	109,920	65,434	147.09%	▲
Health		654,000	108,998	115,672	6,674	6.12%	
Education and welfare		600	100	0	(100)	(100.00%)	
Housing		264,860	44,138	44,883	745	1.69%	
Community amenities		548,000	266,330	526,447	260,117	97.67%	▲
Recreation and culture		98,884	16,460	23,372	6,912	41.99%	
Transport		418,500	69,748	170,920	101,172	145.05%	▲
Economic services		362,930	60,464	68,110	7,646	12.65%	
Other property and services		99,000	16,496	19,810	3,314	20.09%	
		5,163,992	2,877,041	3,370,960	493,919		
Expenditure from operating activities							
Governance		(238,926)	(39,784)	(45,825)	(6,041)	(15.18%)	
General purpose funding		(110,964)	(18,490)	(20,058)	(1,568)	(8.48%)	
Law, order and public safety		(470,709)	(78,428)	(54,232)	24,196	30.85%	▲
Health		(734,759)	(122,446)	(106,685)	15,761	12.87%	▲
Education and welfare		(18,693)	(3,112)	(3,151)	(39)	(1.25%)	
Housing		(447,296)	(74,306)	(39,836)	34,470	46.39%	▲
Community amenities		(609,595)	(101,542)	(114,148)	(12,606)	(12.41%)	▼
Recreation and culture		(954,484)	(158,966)	(96,556)	62,410	39.26%	▲
Transport		(1,737,736)	(289,566)	(210,534)	79,032	27.29%	▲
Economic services		(590,926)	(98,386)	(77,657)	20,729	21.07%	▲
Other property and services		(15,843)	(2,608)	(6,450)	(3,842)	(147.32%)	
		(5,929,931)	(987,634)	(775,132)	212,502		
Non-cash amounts excluded from operating activities	1(a)	1,569,016	1,569,016	0	(1,569,016)	(100.00%)	▼
Amount attributable to operating activities		803,077	3,458,423	2,595,828	(862,595)		
Investing Activities							
Proceeds from non-operating grants, subsidies and contributions	14	3,412,798	364,574	165,650	(198,924)	(54.56%)	▼
Less Unspent Non-Operating Grants represented as Contract Liabilities	14	0	0	(52,558)			
Net Revenue from Non-Operating Grants	14	3,412,798	364,574	113,092			
Proceeds from disposal of assets	7	110,000	0	0	0	0.00%	
Proceeds from financial assets at amortised cost - self supporting loans	9	41,681	0	0	0	0.00%	
Payments for property, plant and equipment and infrastructure	8	(4,393,285)	(325,792)	(271,140)	54,652	16.78%	▲
Amount attributable to investing activities		(828,806)	38,782	(158,047)	(196,829)		
Financing Activities							
Proceeds from new debentures	9	0	0	0	0	0.00%	
Transfer from reserves	11	40,000	0	0	0	0.00%	
Payments for principal portion of lease liabilities	10	(20,869)	0	0	0	0.00%	
Repayment of debentures	9	(182,466)	0	(41,589)	(41,589)	0.00%	▼
Transfer to reserves	11	(23,934)	(23,934)	(0)	23,934	100.00%	▲
Amount attributable to financing activities		(187,270)	(23,934)	(41,589)	(17,655)		
Closing funding surplus / (deficit)	1(c)	(52,845)	3,633,425	2,541,320	(1,092,105)		

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Actual and YTD Actual data as per the adopted materiality threshold. Refer to Note 2 for an threshold. Refer to Note 16 for an explanation of the reasons for the variance.

The material variance adopted by Council for the 2022-23 year is \$10,000 or 10.00% whichever is the greater.

This statement is to be read in conjunction with the accompanying Financial Statements and notes.

KEY TERMS AND DESCRIPTIONS

FOR THE PERIOD ENDED 31 AUGUST 2022

NATURE OR TYPE DESCRIPTIONS

REVENUE

RATES

All rates levied under the *Local Government Act 1995*. Includes general, differential, specified area rates, minimum rates, interim rates, back rates, ex-gratia rates, less discounts and concessions offered. Exclude administration fees, interest on instalments, interest on arrears, service charges and sewerage rates.

OPERATING GRANTS, SUBSIDIES AND CONTRIBUTIONS

Refers to all amounts received as grants, subsidies and contributions that are not non-operating grants.

NON-OPERATING GRANTS, SUBSIDIES AND CONTRIBUTIONS

Amounts received specifically for the acquisition, construction of new or the upgrading of identifiable non financial assets paid to a local government, irrespective of whether these amounts are received as capital grants, subsidies, contributions or donations.

REVENUE FROM CONTRACTS WITH CUSTOMERS

Revenue from contracts with customers is recognised when the local government satisfies its performance obligations under the contract.

FEES AND CHARGES

Revenues (other than service charges) from the use of facilities and charges made for local government services, sewerage rates, rentals, hire charges, fee for service, photocopying charges, licences, sale of goods or information, fines, penalties and administration fees. Local governments may wish to disclose more detail such as rubbish collection fees, rental of property, fines and penalties, other fees and charges.

SERVICE CHARGES

Service charges imposed under *Division 6 of Part 6 of the Local Government Act 1995*. *Regulation 54 of the Local Government (Financial Management) Regulations 1996* identifies these as television and radio broadcasting, underground electricity and neighbourhood surveillance services. Exclude rubbish removal charges. Interest and other items of a similar nature received from bank and investment accounts, interest on rate instalments, interest on rate arrears and interest on debtors.

INTEREST EARNINGS

Interest and other items of a similar nature received from bank and investment accounts, interest on rate instalments, interest on rate arrears and interest on debtors.

OTHER REVENUE / INCOME

Other revenue, which can not be classified under the above headings, includes dividends, discounts, rebates etc.

PROFIT ON ASSET DISPOSAL

Excess of assets received over the net book value for assets on their disposal.

EXPENSES

EMPLOYEE COSTS

All costs associate with the employment of person such as salaries, wages, allowances, benefits such as vehicle and housing, superannuation, employment expenses, removal expenses, relocation expenses, worker's compensation insurance, training costs, conferences, safety expenses, medical examinations, fringe benefit tax, etc.

MATERIALS AND CONTRACTS

All expenditures on materials, supplies and contracts not classified under other headings. These include supply of goods and materials, legal expenses, consultancy, maintenance

agreements, communication expenses, advertising expenses,

membership, periodicals, publications, hire expenses, rental, leases, postage and freight etc. Local governments may wish to disclose more detail such as contract services, consultancy, information technology, rental or lease expenditures.

UTILITIES (GAS, ELECTRICITY, WATER, ETC.)

Expenditures made to the respective agencies for the provision of power, gas or water. Exclude expenditures incurred for the reinstatement of roadwork on behalf of these agencies.

INSURANCE

All insurance other than worker's compensation and health benefit insurance included as a cost of employment.

LOSS ON ASSET DISPOSAL

Shortfall between the value of assets received over the net book value for assets on their disposal.

DEPRECIATION ON NON-CURRENT ASSETS

Depreciation expense raised on all classes of assets.

INTEREST EXPENSES

Interest and other costs of finance paid, including costs of finance for loan debentures, overdraft accommodation and refinancing expenses.

OTHER EXPENDITURE

Statutory fees, taxes, allowance for impairment of assets, member's fees or State taxes. Donations and subsidies made to community groups.

**STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2022**

BY NATURE OR TYPE

	Ref Note	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(a)	Var.
		Adopted Budget				
		\$	\$	\$	\$	%
Opening funding surplus / (deficit)	1(c)	160,154	160,154	145,126	(15,028)	(9.38%)
Revenue from operating activities						
Rates	6	2,171,729	2,151,463	1,961,864	(189,599)	(8.81%)
Other rates	6	248,012	248,012	248,012	0	0.00%
Operating grants, subsidies and contributions	13	983,293	163,864	470,405	306,541	187.07% ▲
Fees and charges		1,523,690	274,182	660,848	386,666	141.03% ▲
Interest earnings		70,868	11,808	4,136	(7,672)	(64.97%)
Other revenue		166,400	27,712	25,696	(2,016)	(7.27%)
		5,163,992	2,877,041	3,370,959	493,918	
Expenditure from operating activities						
Employee costs		(2,300,723)	(383,360)	(405,992)	(22,632)	(5.90%)
Materials and contracts		(1,322,620)	(220,112)	(243,487)	(23,375)	(10.62%) ▼
Utility charges		(261,462)	(43,482)	(51,017)	(7,535)	(17.33%)
Depreciation on non-current assets		(1,568,999)	(261,480)	0	261,480	100.00% ▲
Interest expenses		(135,465)	(22,572)	14,450	37,022	164.02% ▲
Insurance expenses		(190,013)	(31,612)	(54,142)	(22,530)	(71.27%) ▼
Other expenditure		(150,650)	(25,016)	(34,944)	(9,928)	(39.69%)
		(5,929,932)	(987,634)	(775,131)	212,503	
Non-cash amounts excluded from operating activities	1(a)	1,569,016	1,569,016	0	(1,569,016)	(100.00%) ▼
Movement in liabilities associated with restricted cash			0	0	0	0.00%
Amount attributable to operating activities		803,076	3,458,423	2,595,828	(862,595)	
Investing activities						
Proceeds from non-operating grants, subsidies and contributions	14	3,412,798	364,574	165,650	(198,924)	(54.56%) ▼
Less Unspent Non-Operating Grants represented as Contract Liabilities	14	0	0	(52,558)		
Net Revenue from Non-Operating Grants	14	3,412,798	364,574	113,092		
Proceeds from disposal of assets	7	110,000	0	0	0	0.00%
Proceeds from financial assets at amortised cost - self supporting loans	9	41,681	0	0	0	0.00%
Payments for property, plant and equipment and infrastructure	8	(4,393,285)	(325,792)	(271,140)	54,652	16.78%
Amount attributable to investing activities		(828,806)	38,782	(158,047)	(196,829)	
Financing Activities						
Transfer from reserves	11	40,000	0	0	0	0.00%
Payments for principal portion of lease liabilities		(20,869)	0	0	0	0.00%
Repayment of debentures	9	(182,466)	0	(41,589)	(41,589)	0.00% ▼
Transfer to reserves	11	(23,934)	(23,934)	(0)	23,934	100.00% ▲
Amount attributable to financing activities		(187,269)	(23,934)	(41,589)	(17,655)	
Closing funding surplus / (deficit)	1(c)	(52,845)	3,633,425	2,541,320	(1,092,105)	

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Actual and YTD Actual data as per the adopted materiality threshold.

Refer to Note 16 for an explanation of the reasons for the variance.

This statement is to be read in conjunction with the accompanying Financial Statements and Notes.

(a) Non-cash items excluded from operating activities

The following non-cash revenue and expenditure has been excluded from operating activities within the Statement of Financial Activity in accordance with Financial Management Regulation 32.

	Notes	Adopted Budget	YTD Budget (a)	YTD Actual (b)
Non-cash items excluded from operating activities		\$	\$	\$
Adjustments to operating activities				
Less: Movement in liabilities associated with restricted cash	17		0	0
Add: Depreciation on assets		1,568,999	261,480	0
Total non-cash items excluded from operating activities		1,569,016	261,480	0

(b) Adjustments to net current assets in the Statement of Financial Activity

The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with *Financial Management Regulation* 32 to agree to the surplus/(deficit) after imposition of general rates.

		Last Year Closing 30 June 2022	This Time Last Year 31 August 2021	Year to Date 31 August 2022
Adjustments to net current assets				
Less: Reserves - restricted cash	11	(914,260)	(929,953)	(914,260)
Less: - Financial assets at amortised cost - self supporting loans	4	(41,680)	(39,157)	(41,681)
Add: Borrowings	9	182,449	2,273,379	140,921
Add: Provisions funded by Reserve	12	112,797	109,813	112,797
Add: Lease liabilities	10	11,255	0	20,870
Total adjustments to net current assets		(649,439)	1,414,082	(681,353)

(c) Net current assets used in the Statement of Financial Activity

Current assets				
Cash and cash equivalents	2	2,308,253	1,307,145	3,808,373
Rates receivables	3	112,572	180,533	864,265
Receivables	3	51,579	58,048	127,671
Stock on Hand	4	27,731	54,625	22,747
Total Current Assets		2,500,135	1,600,351	4,823,056
Less: Current liabilities				
Payables	5	(247,809)	(274,210)	(136,259)
Borrowings	9	(182,449)	(2,273,379)	(140,921)
Contract liabilities	12	(689,109)	0	(741,667)
Lease liabilities	10	(11,255)		(20,870)
Provisions	12	(559,922)	(564,043)	(560,666)
Total Current Liabilities		(1,690,544)	(3,111,632)	(1,600,383)
		809,591	(1,511,281)	3,222,673
Less: Total adjustments to net current assets	1(b)	(649,439)	1,414,082	(681,353)
Closing funding surplus / (deficit)		160,154	(97,201)	2,541,320

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

Description	Classification	Unrestricted \$	Restricted \$	Total Cash \$	Trust \$	Institution	Interest Rate	Maturity Date
Cash on hand								
Floats	Cash and cash equivalents	650		650	0			
Cash Deposits								
Municipal Bank Account	Cash and cash equivalents	1,864,312		1,864,312	0	Bendigo	0.00%	At Call
Trust Bank Account	Cash and cash equivalents	0	0	0	38,149	Bendigo	0.00%	
Medical Surgery Bank Account	Cash and cash equivalents		38,494	38,494				
Term Deposits								
Term Deposits - Reserve	Financial assets at amortised cost	0	608,306	608,306	0	Bendigo	0.40%	28/10/2022
Term Deposits	Financial assets at amortised cost	0	1,000,000	1,000,000	0	Bendigo	1.80%	26/12/2022
Term Deposits - Reserve	Financial assets at amortised cost	0	300,706	300,706	0	Bendigo	2.60%	17/06/2023
Term Deposits - Skeleton Weed A/L & LSL	Financial assets at amortised cost	0	5,234	5,234	0	Bendigo	2.60%	17/06/2023
Total		1,864,962	1,952,741	3,817,702	38,149			
Comprising								
Cash and cash equivalents		1,864,962	38,495	1,903,455	38,149			
Financial assets at amortised cost		0	1,914,247	1,914,247	0			
		1,864,962	1,952,742	3,817,702	38,149			

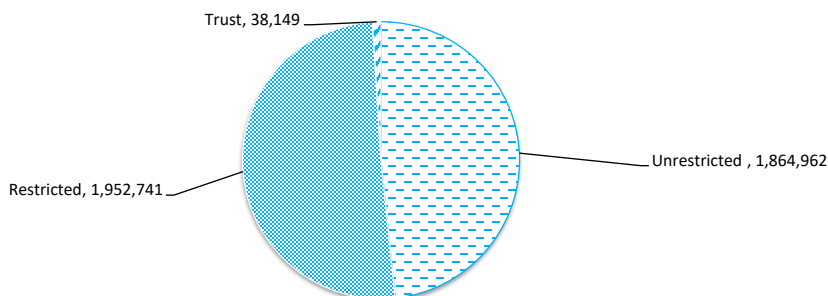
KEY INFORMATION

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value and bank overdrafts. Bank overdrafts are reported as short term borrowings in current liabilities in the statement of net current assets.

The local government classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Financial assets at amortised cost held with registered financial institutions are listed in this note other financial assets at amortised cost are provided in Note 4 - Other assets.



NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2022

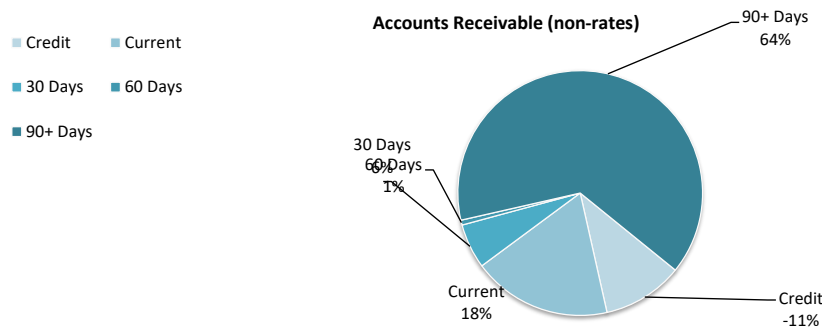
OPERATING ACTIVITIES
NOTE 3
RECEIVABLES

Rates receivable	30 Jun 2022	31 Aug 2022
	\$	\$
Opening arrears previous years	147,184	147,184
Levied this year	2,118,671	2,419,741
Less - collections to date	(2,118,671)	(1,702,660)
Equals current outstanding	147,184	864,265
Net rates collectable	147,184	864,265
% Collected	93.5%	66.3%

Receivables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Receivables - general	(7,305)	12,609	4,065	446	44,173	53,988
Percentage	(13.5%)	23.4%	7.5%	0.8%	81.8%	
Balance per trial balance						
Sundry receivable	0	53,988	0	0	0	53,988
GST receivable	0	32,002	0	0	0	32,002
Loans Club/Institutions - Current	0	41,681	0	0	0	41,681
Total receivables general outstanding						127,671
Amounts shown above include GST (where applicable)						

KEY INFORMATION

Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for goods sold and services performed in the ordinary course of business. Receivables expected to be collected within 12 months of the end of the reporting period are classified as current assets. All other receivables are classified as non-current assets. Collectability of trade and other receivables is reviewed on an ongoing basis. Debts that are known to be uncollectable are written off when identified. An allowance for impairment of receivables is raised when there is objective evidence that they will not be collectible.



	Opening Balance 1 July 2022	Asset Increase	Asset Reduction	Closing Balance 31 August 2022
Other current assets	\$	\$	\$	\$
Inventory				
Stock On Hand	27,731	(4,985)	0	22,746
Total other current assets	27,731	(4,985)	0	22,746

Amounts shown above include GST (where applicable)

KEY INFORMATION

Inventory

Inventories are measured at the lower of cost and net realisable value.

Net realisable value is the estimated selling price in the ordinary course of business less the estimated costs of completion and the estimated costs necessary to make the sale.

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2022

OPERATING ACTIVITIES
NOTE 5
Payables

Payables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Payables - general	0	50,997	0	0	0	50,997
Percentage	0%	100%	0%	0%	0%	
Balance per trial balance						
Sundry creditors	0	(20,752)	0	0	0	64,510
ATO liabilities		36,427				36,427
Gst Payable		22,745				22,745
Bonds & Deposits Held - CI		12,577				12,577
Total payables general outstanding						136,259

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other payables represent liabilities for goods and services provided to the Shire that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are normally paid within 30 days of recognition.

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2022

OPERATING ACTIVITIES
NOTE 6
RATE REVENUE

General rate revenue	Budget							YTD Actual			
	Rate in \$ (cents)	Number of Properties	Rateable Value	Rate Revenue	Interim Rate	Back Rate	Total Revenue	Rate Revenue	Interim Rates	Back Rates	Total Revenue
RATE TYPE				\$	\$	\$	\$	\$	\$	\$	\$
Gross rental value											
GRV Residential	0.11880	123	1,350,994	160,498	0	0	160,498	160,498	0	0	160,498
GRV Commercial	0.12700	17	321,640	40,848	0	0	40,848	40,848	0	0	40,848
GRV Industrial	0.12790	11	80,636	10,313	0	0	10,313	10,313	0	0	10,313
GRV Urban Farmland	0.11350	18	220,896	25,072	0	0	25,072	25,072	0	0	25,072
Unimproved value											
UV Rural Zone 2	0.0059	54	25,866,000	152,092	0	0	152,092	152,092	0	0	152,092
UV Special Rural	0.0121	14	1,527,500	18,544	0	0	18,544	18,544	0	0	18,544
UV General Zone 3	0.0059	218	257,374,000	1,518,507			1,518,507	1,518,507	0	0	1,518,507
Sub-Total		455	286,741,666	1,925,875	0	0	1,925,874	1,925,874	0	0	1,925,874
Minimum payment	Minimum \$										
Gross rental value											
GRV Residential	1,025	96	553,875	98,400	0	0	98,400	98,400	0	0	98,400
GRV Commercial	950	13	37,597	12,350	0	0	12,350	12,350	0	0	12,350
GRV Industrial	595	7	12,675	4,165	0	0	4,165	4,165	0	0	4,165
GRV Urban Farmland	760	7	24,251	5,320	0	0	5,320	5,320	0	0	5,320
Unimproved value											
UV Rural Zone 2	800	18	2,166,500	14,400	0	0	14,400	14,400	0	0	14,400
UV Special Rural	1,130	4	327,000	4,520	0	0	4,520	4,520	0	0	4,520
UV General Zone 3	1,100	97	7,960,466	106,700	0	0	106,700	106,700	0	0	106,700
Sub-total		242	11,082,364	245,855	0	0	245,855	245,855	0	0	245,855
Amount from general rates							2,171,729				2,171,729
Ex-gratia rates							38,012				38,012
Total general rates							2,209,741				2,209,741
Specified area rates	Rate in \$ (cents)										
Sewerage Residential	8.792		23,520	206,790	0	0	206,790	206,790	0	0	206,790
Sewerage Religious Church			440	3,210	0	0	3,210	3,210	0	0	3,210
Total specified area rates			23,960	210,000	0	0	210,000	210,000	0	0	210,000
Total							2,419,741				2,419,741

KEY INFORMATION

Prepaid rates are, until the taxable event for the rates has occurred, refundable at the request of the ratepayer. Rates received in advance give rise to a financial liability. On 1 July 2020 the prepaid rates were recognised as a financial asset and a related amount was recognised as a financial liability and no income was recognised. When the taxable event occurs the financial liability is extinguished and income recognised for the prepaid rates that have not been refunded.

Capital acquisitions	Adopted Budget	Current Budget	YTD Budget	YTD Actual	YTD Actual Variance
	\$	\$	\$	\$	\$
Buildings	559,827	559,827	85,804	0	(85,804)
Plant and equipment	135,000	135,000	0	14,050	14,050
Infrastructure - roads	3,396,458	3,396,458	239,988	189,058	(50,930)
Infrastructure - sewerage	50,000	50,000	0	0	0
Infrastructure - footpaths	80,000	80,000	0	39,081	39,081
Infrastructure - other	172,000	172,000	0	28,951	28,951
Payments for Capital Acquisitions	4,393,285	4,393,285	325,792	271,140	(54,652)
Total Capital Acquisitions	4,453,851	4,393,285	325,792	271,140	(54,652)
Capital Acquisitions Funded By:					
	\$		\$	\$	\$
Capital grants and contributions	3,412,798	3,412,798	364,574	165,650	(198,924)
Cash backed reserves	914,260	914,260		0	
Reserves cash backed - Long Service Leave Reserve	2,972	2,972	0	0	0
Contribution - operations	(147,311)	63,255	(45,449)	105,489	150,938
Capital funding total	4,393,285	4,393,285	325,792	271,140	(54,653)

SIGNIFICANT ACCOUNTING POLICIES

All assets are initially recognised at cost. Cost is determined as the fair value of the assets given as consideration plus costs incidental to the acquisition. For assets acquired at no cost or for nominal consideration, cost is determined as fair value at the date of acquisition. The cost of non-current assets constructed by the local government includes the cost of all materials used in the construction, direct labour on the project and an appropriate proportion of variable and fixed overhead. Certain asset classes may be revalued on a regular basis such that the carrying values are not materially different from fair value. Assets carried at fair value are to be revalued with sufficient regularity to ensure the carrying amount does not differ materially from that determined using fair value at reporting date.

30/06/2023

31/08/2022

Account Description		Adopted Budget	Current Budget	YTD Budget	YTD Actual	Variance (Under)/Over
Land and Buildings						
48005	Replacement Server - Admin	45,000	45,000	0	0	0
98001	Capital housing Up grades	102,000	102,000	17,000	0	17,000
118005	Town Hall Ceiling Upgrade - LRCIP	0	0	0	0	0
138001	Public Buildings - Capital upgrade projects	412,827	412,827	68,804	0	68,804
138003	Old Road Board Building - LRCIP	0	0	0	0	0
138004	Gum Toilets Upgrade - LRCIP	0	0	0	0	0
138005	Slater Homestead upgrade - LRCIP	0	0	0	0	0
Total		559,827	559,827	85,804	0	85,804
Plant & Equipment						
108001	Skeleton Weed Plant & Equipment	0	0	0	14,050	(14,050)
123907	Plant replacement - Small Tip Truck	50,000	50,000	0	0	0
123908	Plant replacement - Utility GO 039	0	0	0	0	0
123914	Turf Mower - Recreation Ground	45,000	45,000	0	0	0
123913	Miscellaneous Small Plant	10,000	10,000	0	0	0
123911	Small Plant - Mobile Traffic lights	30,000	30,000	0	0	0
Total		135,000	135,000	0	14,050	(14,050)
Infrastructure - Roads						
129904	EXPENSE - Regional Road Group Construction	1,054,435	1,054,435	175,738	113,092	62,646
129901	EXPENSE - R 2 R Construction	314,000	314,000	0	540	(540)
129910	Local Road and Community Infrastructure Program	50,000	50,000	0	0	0
129912	Black Spot Funding	180,000	180,000	0	0	0
129914	MRWA - Bridge Capital	152,000	152,000	0	0	0
129908	EXPENSE - Wheatbelt Secondary Freight Network	1,646,023	1,646,023	64,250	75,426	(11,176)
Total		3,396,458	3,396,458	239,988	189,058	50,930
Infrastructure - Footpaths						
129911	Local Road and Community Infrastructure Program (footpaths)	80,000	80,000	0	39,081	(39,081)
Total		80,000	80,000	0	39,081	(39,081)
Infrastructure - Sewerage						
108003	Upgrade to sewerage water pipe line LRCIP	50,000	50,000	0	0	0
Total		50,000	50,000	0	0	0
Infrastructure - Other						
118006	Anstey Park - Upgrade -LRCIP	172,000	172,000	0	28,951	(28,951)
118007	Upgrade to Playground at Rec Ground LRCIP	0	0	0	0	0
Total		172,000	172,000	0	28,951	(28,951)
TOTALS		4,393,285	4,393,285	325,792	271,140	54,652

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2022

FINANCING ACTIVITIES

NOTE 9

BORROWINGS

Repayments - borrowings

Information on borrowings Particulars	Loan No.	1 July 2022	New Loans		Principal Repayments		Principal Outstanding		Interest Repayments	
			Actual	Budget	Actual	Original Budget	Actual	Budget	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$
Housing										
Aged Housing Wollyam Street	114	141,407	0	0	9,266	18,778	132,141	122,629	3,721	20,410
Recreation and culture										
New Sports Pavilion	111	1,051,154	0	0	0	30,541	1,051,154	1,081,695	0	34,809
Retic Football/Hockey Ovals	113	15,501	0	0	0	14,990	15,501	30,490	0	340
Economic services										
Rural Community Centre	106	307,532	0	0	0	23,857	307,532	331,389	0	29,291
Bank Overdraft - subdivision - new loan	115	893,828	0	0	32,323	52,619	861,505	946,447	7,494	39,172
B/Fwd Balance		2,409,422	0	0	41,589	140,785	2,367,833	2,512,650	11,216	124,022
C/Fwd Balance		2,409,422	0	0	41,589	140,785	2,367,833	2,512,650	11,216	124,022
Self supporting loans										
Recreation and culture										
Self Supporting Loan MSC	110	159,125	0	0	0	41,681	159,125	117,445	0	9,734
Self Supporting Loan MSC	110	159,125	0	0	0	41,681	159,125	117,445	0	9,734
Total		2,568,547	0	0	41,589	182,466	2,526,958	2,630,095	11,216	133,756
Current borrowings		182,466					(140,921)			
Non-current borrowings		2,386,081					2,667,879			
		2,568,547					2,526,958			

All debenture repayments were financed by general purpose revenue.

Self supporting loans are financed by repayments from third parties.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2022**

FINANCING ACTIVITIES

NOTE 9

BORROWINGS

Repayments - borrowings

Information on borrowings Particulars	Loan No.	1 July 2022	New Loans		Principal Repayments		Principal Outstanding		Interest Repayments	
			Actual	Budget	Actual	Original Budget	Actual	Budget	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$

KEY INFORMATION

All loans and borrowings are initially recognised at the fair value of the consideration received less directly attributable transaction costs. After initial recognition, interest-bearing loans and borrowings are subsequently measured at amortised cost using the effective interest method. Fees paid on the establishment of loan facilities that are yield related are included as part of the carrying amount of the loans and borrowings.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2022**

**FINANCING ACTIVITIES
NOTE 10
LEASE LIABILITIES**

Movement in carrying amounts

Information on leases Particulars	Lease No.	1 July 2022	New Leases		Principal Repayments		Principal Outstanding		Interest Repayments	
			Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$
Other property and services										
GO040 Ford Escape (Blue)	6250509	109	0	0	0	69	109	40	0	0
GOSHIRE Ford Escape (White)	6250620	103	0	0	0	65	103	38	0	0
GO015 Ford Utility (WORKSMANAGER)	6463413	11,043	0	0	0	9,903	11,043	1,140	0	321
GO 040 Ford Escape (DCEO White)		0	0	30,283		5,416	30,283	24,867		694
GOSHIRE Ford Escape (CDO White)		0	0	30,283		5,416	30,283	24,867		694
Total		11,255	0	60,566	0	20,869	71,821	50,952	0	1,709
Current lease liabilities		20,870					20,870			
Non-current lease liabilities		47,302					47,302			
		68,172					68,172			

All lease repayments were financed by general purpose revenue.

KEY INFORMATION

At inception of a contract, the Shire assesses if the contract contains or is a lease. A contract is, or contains, a lease if the contract conveys the right to control the use of an identified asset for a period of time in exchange for consideration. At the commencement date, a right of use asset is recognised at cost and lease liability at the present value of the lease payments that are not paid at that date. The lease payments are discounted using that date. The lease payments are discounted using the interest rate implicit in the lease, if that rate can be readily determined. If that rate cannot be readily determined, the Shire uses its incremental borrowing rate.

All contracts classified as short-term leases (i.e. a lease with a remaining term of 12 months or less) and leases of low value assets are recognised as an operating expense on a straight-line basis over the term of the lease.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2022**

**OPERATING ACTIVITIES
NOTE 11
CASH RESERVES**

Cash backed reserve

Reserve name	Opening Balance	Budget Interest Earned	Actual Interest Earned	Budget Transfers In (+)	Actual Transfers In (+)	Budget Transfers Out (-)	Actual Transfers Out (-)	Budget Closing Balance	Actual YTD Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$
Reserves cash backed - Long Service Leave Reserve	112,797	2,972	0	0	0	0	0	115,769	112,797
Reserves cash backed - Mortlock Lodge Reserve	3,172	82	0	0	0	0	0	3,254	3,172
Reserves cash backed- Plant Replacement Reserve	139,897	3,665	0	0	0	(40,000)	0	103,562	139,897
Reserves cash backed - Staff Housing Reserve	33,284	879	0	0	0	0	0	34,163	33,284
Reserves cash backed - Aged Care Reserve	119,725	3,153	0	0	0	0	0	122,878	119,725
Reserves cash backed - Vehicle Reserve	108,058	2,871	0	0	0	0	0	110,929	108,058
Reserves cash backed - Sewerage Reserve	327,377	8,619	0	0	0	0	0	335,996	327,377
Reserves cash backed - Community Bus Reserve	54,250	1,422	0	0	0	0	0	55,672	54,250
Reserves cash backed - LCDC Reserve	10,452	271	0	0	0	0	0	10,723	10,452
Reserves cash backed - SW LAG Officer AL/LSL Reserve	5,248	0	0	0	0	0	0	5,248	5,248
	914,260	23,934	0	0	0	(40,000)	0	898,194	914,260

KEY INFORMATION

Other current liabilities	Note	Opening Balance 1 July 2022	Liability Increase	Liability Reduction	Closing Balance 31 August 2022
		\$	\$	\$	\$
Contract liabilities					
- operating	13	689,109	52,558	0	741,667
Total unspent grants, contributions and reimbursements		689,109	52,558	0	741,667
Provisions					
Annual leave		266,410	0	0	266,410
Long service leave		294,256	0	0	294,256
Total Provisions		560,666	0	0	560,666
Total other current assets		1,249,775	52,558	0	1,302,333

KEY INFORMATION

Provisions

Provisions are recognised when the Shire has a present legal or constructive obligation, as a result of past events, for which it is probable that an outflow of economic benefits will result and that outflow can be reliably measured.

Provisions are measured using the best estimate of the amounts required to settle the obligation at the end of the reporting period.

Employee benefits

Short-term employee benefits

Provision is made for the Shire's obligations for short-term employee benefits. Short-term employee benefits are benefits (other than termination benefits) that are expected to be settled wholly before 12 months after the end of the annual reporting period in which the employees render the related service, including wages, salaries and sick leave. Short-term employee benefits are measured at the (undiscounted) amounts expected to be paid when the obligation is settled.

The Shire's obligations for short-term employee benefits such as wages, salaries and sick leave are recognised as a part of current trade and other payables in the calculation of net current assets.

Other long-term employee benefits

The Shire's obligations for employees' annual leave and long service leave entitlements are recognised as provisions in the statement of financial position.

Long-term employee benefits are measured at the present value of the expected future payments to be made to employees. Expected future payments incorporate anticipated future wage and salary levels, durations of service and employee departures and are discounted at rates determined by reference to market yields at the end of the reporting period on government bonds that have maturity dates that approximate the terms of the obligations. Any remeasurements for changes in assumptions of obligations for other long-term employee benefits are recognised in profit or loss in the periods in which the changes occur. The Shire's obligations for long-term employee benefits are presented as non-current provisions in its statement of financial position, except where the Shire does not have an unconditional right to defer settlement for at least 12 months after the end of the reporting period, in which case the obligations are presented as current provisions.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2022**

NOTE 13

OPERATING GRANTS AND CONTRIBUTIONS

Provider	Operating grants, subsidies and contributions revenue			
	Adopted Budget Revenue	YTD Budget	Current Budget	YTD Revenue Actual
	\$	\$	\$	\$
Operating grants and subsidies				
General purpose funding				
GRANTS - General Purpose	93,020	15,502	93,020	35,365
GRANTS - Untied Road Grants	48,073	8,012	48,073	23,700
Law, order, public safety				
REVENUE - ESL Grant	45,000	7,500	45,000	0
Recreation & Culture				
REVENUE - Other Recreation & Sport - No GST	1,100	182	1,100	1,100
Community amenities				
REVENUE - Other Grant Funding	145,000	24,166	145,000	160,000
Transport				
REVENUE - Direct Grant	100,000	16,666	100,000	105,370
Economic services				
REVENUE - Other Economic Services	15,000	2,500	15,000	0
Other property and services				
Various Contributions	209,263	30,536	317,190	144,871
	656,456	105,064	764,383	470,405

Non operating grants, subsidies and contributions revenue

	Adopted Budget Revenue	Current Budget	YTD Budget	YTD Revenue Actual	YTD Expenditure Actual	YTD Unspent Contract Liability
	\$		\$	\$	\$	\$
Non-operating grants and subsidies						
General purpose funding						
Grants - Federal Government	796,530	796,530	0	0	53,131	0
Transport						
Revenue - Grants Regional Road Group	478,495	478,495	79,748	165,650	113,092	(52,558)
Revenue - Grant Wheatbelt Secondary Freig	1,684,956	1,684,956	280,826	0	75,426	0
Revenue - Grants R 2 R	272,817	272,817	0	0	540	0
Revenue - Grants Black Spot	24,000	24,000	4,000	0	0	0
Revenue - Grants Pathways	0	0	0	0	39,081	0
Revenue - Grants Bridge Construction	156,000	156,000	0	0	0	0
	3,412,798	3,412,798	364,574	165,650	281,269	(52,558)

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 AUGUST 2022**

**NOTE 16
EXPLANATION OF MATERIAL VARIANCES**

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date Actual materially.

The material variance adopted by Council for the 2022-23 year is \$10,000 or 10.00% whichever is the greater.

Reporting Program	Var. \$	Var. %	Timing/ Permanent	Explanation of Variance
	\$	%		
Revenue from operating activities				
Governance	11,710	234.29%	▲	dependent on receiving the grants commission payment
General purpose funding - rates	(189,599)	(8.81%)		The rates include the sewerage rates as well.
General purpose funding - other	30,295	1.35%		Within material variance
Law, order and public safety	65,434	147.09%	▲	Timing of receiving the funding from DFES for the ESL program
Health	6,674	6.12%		Within material variance
Education and welfare	(100)	(100.00%)		Within material variance
Housing	745	1.69%		Within material variance
Community amenities	260,117	97.67%	▲	dependent on the charging of the rentals for the month of July not all carried out
Recreation and culture	6,912	41.99%		Within material variance
Transport	101,172	145.05%	▲	Timing dependent on the timing of MRD funding for the Road works yet to be received
Economic services	7,646	12.65%		Within material variance
Other property and services	3,314	20.09%		Within material variance
Expenditure from operating activities				
Governance	(6,041)	(15.18%)		Within material variance
General purpose funding	(1,568)	(8.48%)		Dependent on when the annual report is completed so depreciation can be ran.
Law, order and public safety	24,196	30.85%	▲	Timing of payments for the ESL program
Health	15,761	12.87%	▲	Dependent on when the annual report is completed so depreciation can be ran.
Education and welfare	(39)	(1.25%)		Within material variance
Housing	34,470	46.39%	▲	Timing Dependent on when the annual report is completed so depreciation can be ran.
Community amenities	(12,606)	(12.41%)	▼	Timing Within material variance
Recreation and culture	62,410	39.26%	▲	Timing Dependent on when the annual report is completed so depreciation can be ran.
Transport	79,032	27.29%	▲	Timing Dependent on when the annual report is completed so depreciation can be ran.
Economic services	20,729	21.07%	▲	Timing Dependent on when the annual report is completed so depreciation can be ran.
Other property and services	(3,842)	(147.32%)		Timing Dependent on the timing of fuel and oils being ordered and paid for.
Investing activities				
Proceeds from non-operating grants, subsidies and contributions	(198,924)	(54.56%)	▼	Dependent on when the grants are applied for and when the projects are completed.
Proceeds from disposal of assets	0	0.00%		
Proceeds from financial assets at amortised cost - self supporting loans	0	0.00%		
Payments for financial assets at amortised cost - self supporting loans	0	0.00%		
Payments for property, plant and equipment and infrastructure	54,652	16.78%	▲	Dependent on the timing of the Capital works program
Financing activities				
Proceeds from new debentures	0	0.00%		
Transfer from reserves	0	0.00%		
Payments for principal portion of lease liabilities	0	0.00%		
Repayment of debentures	(41,589)	0.00%	▼	Timing 1st payment of loans
Transfer to reserves	23,934	100.00%	▲	Yet to carry out the transfer of reserves interest until the end of the year.



9.3 WALGA AGM AGENDA ITEMS FOR DECISION

File Reference	69.5
Disclosure of Interest	Nil
Applicant	WALGA
Previous Item Numbers	No Direct
Date	2 September 2022
Author	Peter Bentley – Chief Executive Officer
Authorising Officer	Peter Bentley – Chief Executive Officer
Attachments	1. Copy of the revised MOU

Summary

To Consider items for decision at the 2022 WALGA AGM and direct Councils delegates as to their voting intentions for these matters.

Background

Councillors Haywood and Chester will be Councils delegates to the WALGA AGM in in October and will need to vote regarding a variety of motions put forward to the meeting. A copy of the AGM agenda items have been included for Councillors to consider their position regarding the various items.

Consultation

Nil other

Statutory Environment

Local Government Act (1995)

Policy Implications

Council does not have a specific policy regarding the WALGA AGM.

Financial Implications

Nil

Strategic Implications

Shire of Goomalling Community Strategic Plan 2019-2028	
1.1.1	This item is not directly dealt with within Councils Community Strategic Plan



Comment/Conclusion

The Following table itemises the matters for decision and the recommendations attached to them.

Item Description	Recommendation/Motion
1. Road Traffic Issues	That WALGA Advocate on behalf of the local government sector to the State Government and in particular, Main Roads, to increase importance and weight given to local knowledge and input regarding road traffic issues including requests for speed reduction, intersection treatments and overall preventative and traffic safety measures.
2. Car Parking and Traffic Congestion Around Schools	That WALGA engages with the State Government on behalf of Local Government to review issues associated with car parking and traffic congestion around school sites including but not limited to: <ol style="list-style-type: none"> 1. Reviewing car parking standards for schools; 2. Ensuring sufficient land is set aside for the provision of parking on school sites; 3. Reviewing the co-location of schools to avoid issues being exacerbated; 4. Restricting school access from major roads; 5. Developing plans to enable schools to manage school traffic; 6. Develop programs to educate drivers; and 7. Develop options and implement initiatives to encourage alternative modes of transport to school.
3. Proposal for Regional Road Maintenance Contracts with Main Roads WA	That WALGA assist Local Governments and work with the Hon Minister Rita Saffioti to introduce a similar program that is currently in play in Queensland and introduce a sole invitee Program for Local Governments to engage in a Road Maintenance Performance Contract with Main Roads WA.
4. Northern Australia Beef Roads Program	That WALGA work with the Hon Madeleine King MP Minister for Resources and Minister for Northern Australia to make Beef Road Funding available to all Australian Local Governments north and south, or establish a Southern Australia Beef Road Funding Program to allow for equitable support across Australia's beef and agriculture industries.
5. 3D House Printing Building Compliance	That WALGA requests: <ol style="list-style-type: none"> 1. Assistance from Minister for Industry and Science The Hon Ed Husic MP, Minister for Housing and Homelessness, Small Business The Hon Julie Collins MP, Minister for Infrastructure, Transport, Regional Development and Local Government The Hon Catherine King MP to work with Ministers from all State and Territory Governments who have Building and Construction in their portfolios, to collaborate and to consider removing impediments within the National Construction Code Series and associated Australian Standards, that dissuade industry from adopting 3D printing as a building method. 2. That the Government provide instruments to incentivise private industry to develop 3D printing and include this as an acceptable building practice.
6. South West Native Title Settlement	That WALGA advocate to the State Government that Local Governments be provided with the full list of potential land to be requested for transfer as part of the South West Native Title Settlement and that a minimum of three months be provided for Council to provide feedback.



7. Land Offset Compensation to Local Governments	That WALGA advocate to the State Government that the Developer requiring land offsets within another Local Government be required to pay a fee to the Local Government for the loss of rates and ongoing maintenance of infrastructure to the Land.
8. Review of the Rating Methodology used by the Valuer-General	Advocate for a full review of the rating methodology used by the Valuer-General to value all land in the State of Western Australia.
9. WA Local Government Rating Model	That WALGA advocate to the State Government and the Valuer Generals' Office that a different rating model be trialled across several Councils whereby the Unimproved Value rate is abolished, and all properties are rated for Gross Rental Value or Capital Value.
10. Reform of the Cat Act 2011	That the WA Local Government sector requests the WA State Government prioritise reforms to the Cat Act 2011, in accordance with the Statutory Review undertaken and tabled in the State Parliament on 27 November 2019.
11. WALGA Best Practice Governance Review – Principles	<ol style="list-style-type: none"> 1. The update on the Best Practice Governance Review project be noted, and 2. The principles to inform WALGA's future governance model, as follows and as per the attached Principles document, be endorsed: <ol style="list-style-type: none"> a. Representative – WALGA unites and represents the entire Local Government sector in WA and understands the diverse nature and needs of members, regional communities and economies. b. Responsive – WALGA is an agile association which acts quickly to respond to the needs of members and stakeholders. c. Results Oriented – WALGA dedicates resources and efforts to secure the best outcomes for Local Government and supports the delivery of high-quality projects, programs and services.

**MOTION 3.1 ROAD TRAFFIC ISSUES
 MEMBER COMMENT**

The Shire of Dardanup and its community have experienced a number of instances where preventative action was only taken after fatalities occurred on roads and intersections, despite pleas and requests from the local government, community and stakeholders. Recent examples include the following intersections:

- Hynes Road on Forrest highway, fatalities occurred before safety concerns were addressed and speed limit reduced;
- Hynes Road on South Western Highway, fatalities occurred before safety concerns were addressed and speed limit reduced;
- South Western Highway section from Hynes Road westbound to Picton, high number of fatalities occurred before safety concerns were addressed and speed limit reduced;
- Eaton Drive numerous intersection designs, almost 10 years of traffic studies paid for by the local government as requested by Main Roads which eventually culminated in a treatment plan for all intersection that was agreed to by Main Roads South West, but rejected by Main Roads Perth request further traffic



studies delaying action and deferring addressing community and safety concerns.

SECRETARIAT COMMENT

The Commissioner for Main Roads has the authority to erect, alter or take down any road sign or traffic control signal under the provisions of Regulation 297 of the Road Traffic Code 2000. This authority has not been delegated to Local Governments, except under very limited conditions. To effectively manage the local road network Local Governments need to work with Main Roads WA Traffic Management Services. The issues identified in the motion are consistent with the experience of other Local Governments.

In response to advocacy from WALGA and Local Governments, Main Roads WA undertook a review of the Speed Zoning Policy and Application Guidelines in 2020. Following adoption of the new policy, 52 Local Governments that had applied one or more times to amend a speed zone completed a survey undertaken by WALGA in 2021 which found that a higher proportion of applications to reduce speed limits on local roads were rejected under the new policy than was previously the case. Local Governments highlighted that the process was slow, somewhat unpredictable and lacked feedback indicating changes are required.

IN BRIEF

- Request for WALGA to advocate for greater local input into road and intersection treatments. WALGA Annual General Meeting 2022 | Agenda 6 The proposed motion is broadly consistent with the WALGA State Council advocacy position in relation to travel speed management;
1. That the Road Safety Council initiate the development of a comprehensive speed reform plan. That the speed reform plan be designed, to meet the various needs of metropolitan, rural and remote Western Australian communities, with the aim of improving liveability, amenity and safety.
 2. That a speed reform plan incorporates:
 - a. measures to ensure that Local Governments are consulted in the process of changing speed limits on the local road network, and
 - b. processes to reduce the barriers and red tape for Local Governments seeking lower speed limits in targeted locations on local urban roads.

[September 2019 – 99.6/2019]

Main Roads WA has evolved its policy position in relation to intersection treatments in the past three years such that “roundabouts or other treatments will be preferred over traffic signalisation, unless evaluation clearly demonstrates those other solutions are unsuitable”¹. There have also been significant technical changes in the modelling required, including the type of software to be used to demonstrate the effectiveness of the proposed intersection treatment. These new policies and operational requirements were introduced without adequate consideration of the long planning timeframes associated with road network development.

MOTION 3.2 CAR PARKING AND TRAFFIC CONGESTION AROUND SCHOOLS

BACKGROUND



The City of Wanneroo has for some time been concerned about traffic congestion and car parking in and around school sites. In particular, the City is concerned about the car parking and congestion issues that occur over the morning drop-off and afternoon pick-up times due to the high demand and intensity of activity over relatively short periods of time. Causes seem to range from a lack of parking availability, lack of adequate drop-off and pick-up areas and driver behaviour. The results observed by the City include illegal parking and traffic movements leading to conflict and potentially dangerous situations.

As an outer metropolitan growth council, the City of Wanneroo will continue to face the issue of car parking and traffic congestion unless measures are taken to address the increasing challenges and issues associated with schools throughout the City.

It is apparent that the issue of car parking and traffic congestion around schools is not exclusive to the City of Wanneroo. It follows that a comprehensive and coordinated approach to the problem is called for. This motion is submitted to request that WALGA take a lead role in helping bring about such a solution on behalf of all member councils.

COMMENT

There is a need to approach the State Government to identify and implement new approaches that can contribute to a comprehensive solution. These include:

- Reviewing parking standards for educational establishments;

- Ensuring sufficient land is set aside for the provision of parking on school sites;
- Reviewing the co-location of schools to avoid issues being exacerbated;
- Restricting school access from major arterial roads;
- Developing plans to enable schools to manage school traffic;
- Develop programs to educate drivers; and
- Develop options and implement initiatives to encourage alternative modes of transport for travel to and from school.

IN BRIEF

- Car parking and traffic congestion around school sites has been and continues to be problematic.
- Causes arise from lack of parking, lack of adequate drop-off and pick-up areas and driver behaviour.
- Issues include illegal parking and traffic movements leading to conflict and potentially dangerous situations.
- Issues are not exclusive to City of Wanneroo.
- Requires a wide-ranging review of standards and school location.
- Requires better management of traffic by schools and development of driver education programs.
- Requires development of options and programs to alternative modes of travel to and from school.

WALGA Annual General Meeting 2022 | Agenda 8 The City's Councillors are very concerned about the issues and are supportive of the City pursuing options to reduce the problems at existing schools and prevent them from occurring where new schools are developed. An example of the problem faced in relation to traffic and congestion has been highlighted by a Councillor. Mercy College in Koondoola is located at the intersection of two major roads (Beach Road and Mirrabooka Avenue) where it has been observed that:

- At school pick-up times, cars stop along Mirrabooka Avenue, approximately 200m before the intersection of Beach Road / Mirrabooka Avenue.



- The gate at Mercy College doesn't open until about 2:45pm. Cars are banked up from 2:30, causing significant congestion issues.
- A drop off / pick up entrance along Beach Road appears to be well managed, unlike the one on Mirrabooka Avenue.

The City has operated a school parking program to provide education, manage parking and where necessary take compliance/enforcement action. The City has also worked with the Department of Transport (DOT) Your Move team to help in the development of safe routes to school. Despite these efforts, issues of congestion and parking problems persist.

The City acknowledges the Department of Transport (DOT) report "The declining rate of walking and cycling to school in Perth" issued in November 2021. The City generally supports the conclusions and recommendations of the report and looks forward to the implementation of the actions proposed.

The City is also aware of the Department of Planning, Lands and Heritage Development Control Policy 2.4: School Sites and the draft operational Policy 2.4: Planning for School Sites. The former policy has been in place since 1998 and the issues of parking and traffic congestion have continued throughout its duration. While the draft policy discusses sufficient parking and embayments and facilities for dropoff and pick-up it does not appear to have measures in place to deal with the high demand and intensity of activity over short periods of time that deal with the resultant congestion and potentially dangerous situations. There is no requirement for schools to manage the traffic they generate.

The City of Wanneroo's observations are that the issue of car parking and traffic congestion occurs at schools in the entire Local Government area regardless of the type (public or private), age and location. That is to say that the issue has been occurring for many years and according to the DOT report has become more of an issue as the rate of walking and cycling to school has declined over the past 40 years.

There is a need for WALGA, as representative of Local Government, to lead discussions with the State Government to find a solution to the issue of parking and traffic congestion around schools.

Addressing car parking provision, driver behaviour and mode of transport can help reduce the issues occurring at schools.

The City's view is that addressing school location, improving safe pedestrian and cycle access routes, provision of safe bicycle storage facilities, ensuring sufficient car parking provision and drop-of/pick-up areas are provided, improving driver behaviour through education and mode of transport can help reduce the issues occurring in and around schools. Improved and safe pedestrian and cycle routes can lead to healthier outcomes for users and can contribute to stronger connected communities.

SECRETARIAT COMMENT

This motion outlines three key requests:

1. A wide-ranging review of standards and school location



There are two main types of schools: Public schools and private schools. WALGA Annual General Meeting 2022 | Agenda 9 Land for public schools is required to be identified and set aside as part of the structure planning and subdivision process. Public schools are considered as public works, are not controlled by local planning schemes and are exempt from the requirement to obtain development approval. Consequently, Local Governments have limited direct control over the concerns raised in the motion for new public schools. Private schools, the demand for which usually materialises after neighbourhoods are well established, are controlled by local planning schemes and the parking standards and other requirements set out in these schemes.

Draft Operational Policy 2.4 (Western Australian Planning Commission 2020) is the primary planning policy that sets standards for new schools. This draft policy “is intended to assist in addressing issues that may arise in residential areas between schools and their surroundings particularly in respect of traffic and noise generating activities, and mitigation of impacts on existing transport network and services.” The policy sets standards related to minimum number of road frontages and road types, access to active and public transport connections, and requirements to provide traffic impact assessments. The policy was drafted in 2020 and will be finalised following the review of Liveable Neighbourhoods.

Liveable Neighbourhoods is the Western Australian Planning Commission’s primary policy for the design and assessment of structure plans (regional, district and local) and subdivision for new urban (predominantly residential) areas. This policy includes a component on education facilities, including particular design requirements for schools.

The finalisation of Draft Operational Policy 2.4 and current revision of Liveable Neighbourhoods provide opportunities for Local Governments and WALGA to seek amendments to these documents in accordance with member concerns.

2. Better management of traffic by schools and development of driver education programs

Driver behaviour, as well as transport mode choice, contributes to reducing the impact of traffic congestion and safety around schools.

3. Development of options and programs to alternative modes of travel to and from school

In May 2022 WALGA State Council endorsed the Draft Active Travel to School Roadmap, subject to amending Urban Environment Initiative No 1 to “Consult local governments to identify sub-regional school transport challenges and amend existing planning guidelines and develop new guidelines where gaps exist (RESOLUTION 337.4/2022). State Council also resolved that WALGA:

- Works with the Department of Transport to finalise the Roadmap and encourage Local Government participation in the initiatives identified where these offer solutions to the local issues encountered in each area; and
- Uses the Draft Active Travel to School Roadmap to strengthen advocacy for increased funding for walking and cycling infrastructure in Western Australia by the State and Federal Government.

WALGA has some involvement with the Active Transport to School Working Group, which is led by the Department of Transport and includes representation from the Department of Education. The Department of Transport has developed a new category within the next round of WA Bicycle Network Grants to co-fund Active



Transport Officers with Local Governments. This is an evolution of the former Travel Smart Officers with the new officers having a greater role in working with schools.

MOTION 3.3 PROPOSAL FOR REGIONAL ROAD MAINTENANCE CONTRACTS WITH MAIN ROADS WA

MEMBER COMMENT

On 1 April 2022, the McGowan Labour Government announced it was returning up to 660 maintenance road workers back in-house to Main Roads.

An interactive Q-Trip Funding Tool (here) provided by the Queensland Government, details the next four years of State Government and Local Government Partnership providing safer roads and sustainability to regional and remote Shires.

To enable the Shire of Dundas to be involved in the direction of WALGA to assist with issues impacting us directly, and other regional resource communities impacted by the related Acts and Regulations.

Given the recent State Government announcement, there is an opportunity for all Local Governments to look at this proposal from WA State Government on how this proposal to keep jobs in house within Main Roads WA and the possibility to work with local governments when contracting the required road maintenance to Local Governments (see here).

It is suggested that the Queensland Government model, which can be viewed here, works well and allows Councils to recover costs for usage of plant and equipment and recoup plant costs as hire charges against activities to cover all maintenance, depreciation and operating costs for Local Governments as agreed when undertaking joint routine maintenance on State controlled roads.

It is important that when developing this type of model and contract terms to get the document standards and the WHS and the Main Roads Preferred Suppliers correct. In Queensland, Main Roads assisted with these requirements in a partnership arrangement.

If Local Governments across WA are allowed into this space and work for the State Government on a contractual basis, it could be an opportunity to increase revenue significantly, especially in remote rural areas across WA. This would help Council cover cost relating to new imposed WHS Reforms, Local Government Reforms, Auditing Requirements, and associated costs.

SECRETARIAT COMMENT

The decision by the State Government to move to in-sourcing road maintenance delivery and management provides new opportunities for Local Governments to participate in delivering maintenance and minor capital work on the State road network. Local Governments and Regional Organisations of Council have previously contracted to Main Roads WA to deliver road maintenance services. There were several reasons that Councils and Main Roads WA decided not to continue with these arrangements. The Association will need to understand the interest and capacity of Local IN BRIEF • \$29.7 billion total investment through QTRIP 2022-23 to 2025- 26.

- 25,200 jobs supported over the life of program in Local Governments in Queensland.
- Main Roads WA Projects can be viewed here.



Governments to undertake road maintenance work on the State road network, to inform engagement with the State Government. The extent and type of road works that Main Roads WA will deliver using staff and those operations that will be delivered by contract are likely to vary in different parts of the State.

MOTION 3.4 NORTHERN AUSTRALIA BEEF ROADS PROGRAM

MEMBER COMMENT

The extension to the south of the country of Roads and Beef Road Funding will be vital to get cattle to the saleyards and be competitive with their counterparts from the North who receive Federal Funding to assist them in their efforts to transport cattle.

Reliable access has always been the most significant issue facing the community and businesses operating in the remote Northern Nullarbor region and is a serious concern for those emergency service personnel who are called upon in times of crisis. The 2019-2020 bushfires which closed the Eyre Highway (effectively the gateway into WA) is an example of inaccessibility. The Trans Access Road is the only road servicing this area and has in the past been impassable for months due to flooding. This project would deliver transport efficiencies, stimulate and support economic activity, and provide a safer access road for regular users, tourists, and emergency service personnel. The Eyre highway is the number one strategic link into Western Australia. The Trans-Access Road is the only road East linking the Aboriginal Communities, remote roadhouses, and pastoral stations. Linking the two roads increases accessibility, safety, and improves the social service access between the communities on both roads. Cattle and sheep movements can be hampered when the Trans Access Road is closed, and WA freight movements (in and out) are hampered when the Eyre highway is closed, as per the bushfire season of 2020.

This road improvement will shorten the distance from 1,041 to 91.7km (within our Shire), making traffic movements more efficient, as well as safer with a better-quality formed road. The Commodities can get to market with increased certainty, safety, and more efficiently.

This is only the situation with one road and their numerous pastoral leaseholders having the same issues in Western Australia and all the southern pastoral leaseholders across Southern Australia.

See here a map showing Northern Australia Local Government Roads receiving Funding.

SECRETARIAT COMMENT

The Northern Australia Beef Roads Program was a \$100 million Federal Government investment within the \$980 million Northern Australia Roads Program, which is delivering upgrades to high priority roads in northern Australia essential to the movement of people and freight to support the North's economic development. The Northern Australia Beef Roads Program is making targeted upgrades to key roads necessary for transporting cattle to improve the reliability, productivity and resilience of cattle supply chains in northern Australia, thereby reducing freight costs and strengthening links to markets. The Federal Government announced projects to be funded in October 2016, and the program is now nearing completion.

A key feature of the Northern Australia Beef Roads Program was the active engagement with the beef industry and transport sector to identify potential projects and modelling of different scenarios by the CSIRO using the Transport Network Strategic Investment Tool (TraNSIT) to determine the benefits and assist in prioritising projects. Success in



establishing a new Beef Roads Program in Southern Australia would likely require similar support and evidence. Northern Australia provides 90% of Australia's live cattle exports.

The Northern Australia Program is framed around the Our North, Our Future: White Paper on Developing Northern Australia, with annual statements to Parliament on progress. It is outside of the Minister for Northern Australia responsibilities to establish funding programs in other parts of Australia.

Depending on the scale of investment required, a business case detailing the costs and benefits of the proposed upgrades will be required to underpin advocacy to State and Federal Ministers. The Hon Catherine King, Minister for Infrastructure, Transport and Regional Development of Australia is a primary decision-maker when seeking funding to respond to the identified needs.

MOTION 3.5 3D HOUSE PRINTING BUILDING COMPLIANCE

MEMBER COMMENT

Australia's construction industry may be in for a shake-up, with the arrival of commercial 3D houseprinting technology capable of slashing build times and costs.

On the heels of the country's first 3D-printed house – erected in three days Melbourne in January - COBOD, an international leader in the disruptive field, has partnered with Australian company Fortex to distribute its equipment.

COBOD has spearheaded the development of 3D house-printing, having sold about 50 systems featuring multifunctional construction robots across the globe since 2019. They were used to help build the first single-, two- and three-storey 3D-printed dwellings in Europe, the first 3D-printed house and school in Africa, and first wind turbine tower base.

Unfortunately, laws, codes and regulations rarely keep pace with technology. This is the case for using 3D printing to construct houses.

The Shire of Dundas Elected Members supported this motion at the Ordinary Council Meeting on 28 July 2022 (item 10.1.2 WALGA AGM item – 3D Building Compliance).

Australia is currently experiencing an unprecedented housing crisis. Staff and material shortages are now affecting all industries and especially impacting critical industries like housing construction. The construction of buildings in Australia is controlled through a legislative framework that includes reference to the need to comply with the National Construction Code (NCC) and the Building Code Australia (BCA). The NCC is a uniform set of technical provisions for the design and construction of buildings and other structures, including building systems throughout Australia. In WA the NCC/BCA is called up in the Building Act 2011 and the Building Regulations 2012. It is a statutory requirement that a building or system must be demonstrated to achieve NCC/BCA compliance. The NCC is a performance-based code, containing all performance requirements for the construction of buildings. It's built around a hierarchy of guidance and code compliance levels, with the performance requirements being the minimum level that buildings, building elements, and systems must meet. A building will comply with the NCC if it satisfies the performance requirements, which are the mandatory requirements of the NCC. The performance requirements are also supported by general requirements. These cover other aspects of applying the NCC including its' interpretation, reference documents, the acceptance of design and construction, including related evidence of suitability/documentation, and the classification of buildings within the NCC. The key to the performance-based NCC is that there is no obligation to



adopt any particular material, component, design factor or construction method. This provides for a choice of compliance pathways.

At the National General Assembly on 19-22 June 2022, Motion number 100 was presented by Murray River Council NSW.

Motion number 100 Murray River Council NSW This National General Assembly calls on the Australian Government to collaborate with local government to remove impediments within the National Construction Code Series (BCA) and associated Australian Standards, that dissuade industry from adopting 3D printing, and the Government provide instruments to incentivise private industry to develop 3D printing.

OBJECTIVE

There is mounting financial pressure on governments, with limited fiscal levers available, to slow the price trajectory of housing. Major change across any industry is difficult for profit-driven entities, especially smaller players, to orchestrate, as simply the risk is high, the financial capacity is limited, and the reward will soon be diluted across their competitors. There are investigations into housing affordability occurring in NSW already, which is commendable. Further opportunities can be harvested if the state partners with local government to review the building codes (which by default do not currently reflect the new technology).

KEY ARGUMENTS

Often the scale of the research and development required is beyond even the most affluent or well resourced. The longer an industry has been in existence, the harder it is to change, amplified by the educational institutions and financial commitments that both have long lead times and future commitments. Furthermore, regulations (in this instance building codes and standards) are always slow to change and are often an even bigger impediment. In August 2021, the first 3D printed houses were sold in the USA. The investment in research and development in 3D printed structures over the next few years in many counties, largely driven by price pressures, government policies, international treaty obligations, but also because of the frailty of global supply chains, is profound.

Housing affordability is now becoming critical, yet the policy levers appear to be slow moving. Although it will take some time to achieve, the initial indicators are that 3D Printed houses will lower prices. Therefore, it would be prudent to adapt our rules to facilitate.

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Statutory Environment
- National Construction Code (NCC)

SECRETARIAT COMMENT

Changes to the National Construction Code - All components used for building work in Australia must meet certain performance and legal requirements. These requirements help ensure that buildings are safe, healthy for occupants and maintain performance



over the expected life of a building. Following a building fire in Melbourne Docklands in 2014, and the cladding fire at Grenfell Tower in London in 2017 which killed 72 people, all State and Territory Building Ministers agreed to an assessment of the effectiveness of building compliance systems across Australia.

The resulting Building Confidence Report, released in 2018, identified that problems exist with building product safety in Australia. Subsequently, all Building Ministers agreed to the development of a National Product Assurance Framework to strengthen building product performance requirements. A discussion paper outlining the proposed framework was released by the Australian Building Codes Board in 2021 and can be found here. Any change allowing new forms of construction would require substantial evidence to be presented by industry to the Australian Building Codes Board.

Alternative construction methods such as modular buildings, buildings with pre-engineered components and Structural Insulated Panels (SIPS panels) have risen in popularity in Western Australia in recent years, partly in response to supply chain issues and labour shortages. For example, a display home was built in Mandurah from SIPS panels that was supplied and installed in 16 weeks. Strategies that seek to promote diverse housing options, supply and sustainability should consider the suite of alternative construction methods.

MOTION 3.6 SOUTH WEST NATIVE TITLE SETTLEMENT

MEMBER COMMENT

The Shire of Gingin and many other Local Governments are being requested to consider parcels of land to be allocated for transfer as part of the South West Native Title Settlement.

The Shire of Gingin has received its third request, totalling approximately 45 parcels of land, for consultation as part of this process and in each instance is provided only 40 days to provide feedback to the Department.

For each land parcel in question, which can be numerous, Council is requested to consider the following:

1. Is the Shire supportive of the transfer of this land to the Noongar People under the Settlement?
2. Does the Shire have any interest in the land?
3. Does the Shire have existing or planned infrastructure within the land parcel that requires protection? If yes, please provide details and advise if access to this infrastructure will need to be maintained.
4. Is the land parcel subject to any mandatory connection to services?
5. Are any future proposals for the land identified? Please provide detail of what is proposed and in what timeframe?
6. Are there any future proposals for adjoining land that may affect the land identified in the spreadsheet? If so, in what timeframe?
7. Please advise of any proposed planning scheme amendments that may affect the zoning of this land at a State or Local Government level. If a scheme amendment is to occur, what is the change proposed and when will it come into effect?
8. Please advise of any known land management issues such as site contamination, hazards, debris or rubbish dumping, unauthorised land use and environmental considerations (such as inundation or similar site constraints).
9. Please provide any additional comments on the proposed transfer of this land as part of the Settlement.



The 40-day consultation does not provide any ability for Local Government to consult with the community regarding Council's support for the land transfer and as such is ignorant as to the changes in land management.

IN BRIEF

WALGA to advocate for a review into how Local Governments are requested to consider land to potentially be transferred as part of the South West Native Title Settlement.

Local Governments, as part of this process, are not advised as to any intent for the future purpose of the land and/or how it is proposed to be managed into the future and this is creating angst as part of the consultation with Council. For example, it is difficult for any Local Government to approve the transfer of the land without understanding as to what purpose the land is being requested for and who will manage the area, and will it be freehold transfer? This advice may be as simple as the site is requested for cultural significance or for commercial purposes and will be administered by SWLCC as a reserve vested.

The Shire of Gingin, through consultation with the Department, have been advised that within the Shire there are an additional some 230 more locations identified for potential transfer. The Shire, and all Local Governments, should be provided this full list to be able to undertake early due diligence on the land identified.

Without knowing what other Councils are being requested to consider, the Shire requested the Department to ensure that the Shire of Gingin and other Local Governments are not being targeted due to the commercial potential for land. There should be more clarity surrounding the lands that have been requested and identified across all Local Government and this be publicly accessible.

SECRETARIAT COMMENT

Background on the South West Native Title Settlement (Settlement):

The Settlement, in the form of six Indigenous Land Use Agreements (ILUAs), is a landmark native title agreement negotiated between the Noongar people and the State Government of Western Australia (State). The Settlement officially commenced on 25 February 2021, followed by the establishment of the Noongar Boodja Trust and the appointment of Perpetual as the initial Noongar Boodja Trustee on 29 March 2021. Following commencement, as prescribed by the ILUAs, native title rights and interests were surrendered on 13 April 2021, in exchange for a negotiated package of benefits that the State is delivering.

The Noongar Land Estate is a key benefit under the Settlement and will be comprised of up to 300,000 hectares of land handed over as reserve, and up to 20,000 hectares of land transferred in freehold. The first transfers of land to create the NLE were executed by all parties on 14 July 2021. The Department of Planning, Lands and Heritage (DPLH) is the agency responsible for the delivery of the NLE, on behalf of the Minister for Lands. The NLE is intended to provide significant opportunities for the Noongar people to achieve sustainable economic, social and cultural outcomes. The land to be transferred to the NLE is primarily drawn from unallocated Crown land (UCL), unmanaged reserves (UMR) and Aboriginal Lands Trust (ALT) properties within the Settlement area and will be determined through the ILUA-prescribed land identification, assessment and eventual transfer processes managed by DPLH over the five year ILUA implementation period. This work is undertaken consultatively with the Trustee, SWALSC and a broad range of key stakeholders.



A key component of this process is the Assessment Phase, at which point DPLH consults with stakeholders, including Local Government. Consultation with Local Government in this manner is consistent with general Crown land administration requirements, where tenure matters are referred for comment under section 14 of the Land Administration Act 1997 (LAA). Referrals to Local Governments under the Settlement request detail (if available) on the following:

- whether there are existing interests in the land parcels under consideration for inclusion in the NLE that cannot be met elsewhere;
- whether there are future proposals for the same land or land within the same general location;
- whether there are planning scheme amendments that could affect future use of the land;
- whether there are other relevant land use, land management or land development issues; and
- any other advice they may wish to provide in relation to the subject land.

WALGA asked DPLH if it would it be possible to advise each Local Government of all of the land under consideration within their area at the same time, and DPLH responded as follows:

DPLH regularly provides Local Government Authorities (LGAs) with a list of unallocated Crown land (UCL) and unmanaged reserves (UMR) that may be eligible for inclusion in the Noongar Land Estate within the boundaries of the LGA. This information is provided upon the request of the LGA, in the spirit of proactive and transparent engagement with key stakeholders.

Importantly, DPLH advise that the list provided is reflective of land under consideration at a specific point in time and may be subject to change. Further, all LGAs are advised that DPLH are progressing land through the Phases of the Noongar Land Base Strategy (Strategy) at Annexure J to ILUAs for the Settlement. The Strategy provides an agreed process to be followed and includes a five-year timeframe for the staged delivery of the full 320,000 hectare Noongar Land Estate. As a result, DPLH will likely engage with a number of the involved LGAs numerous times during the five-year period.

WALGA asked DPLH if a 3 month consultation period would be considered, and DPLH responded as follows:

Consultation with LGAs is consistent with general Crown land administration requirements, where tenure matters are referred for comment under section 14 of the LAA. The 40 day timeframe for consultation is prescribed by the Noongar Land Base Strategy (Strategy) at Annexure J to the ILUAs. The sections of the ILUA (including the Settlement Terms) can only be varied by agreement in writing that is executed by or on behalf of the State, each of the Government parties, each Regional Corporation or the relevant Native Title Agreement Group and the Central Services Corporation.

The timeframe for consultation with LGAs is outlined under the Strategy and is intended to ensure the structured delivery of State Government and Trustee for the Noongar Boodja Trust (Trustee) obligations relating to the handover of land. DPLH would also like to emphasise that the LGAs are asked to consider the change of tenure only, not a proposal for the use / development of the land.

The Strategy and therefore the activities of DPLH are consistent with best practice Crown land administration activities, though with prescribed timeframes to ensure adherence to tight project timeframes. The referral questions posed by DPLH during consultation with LGAs are intended to collect detail on what is known to apply to the land at the time of the referral, noting that detailed due diligence and site-specific



investigations would need to be undertaken by the Trustee at the point of land use / land development. In the event that an LGA is unable to provide the detailed information within the 40 day timeframe, DPLH is able to discuss and possibly grant timeframe extensions on a case-by-case basis.

WALGA asked DPLH if it was possible to advise Local Governments, at the time of request, as to the intended use of each parcel of land eg cultural or economic development, and DPLH responded as follows:

This information is not provided to DPLH by the representatives of the Noongar people. Instead, the flexible reserve purpose of Noongar Social, Cultural and / or Economic Benefit and the flexibility provided by delivering freehold tenure allows for land to be used by the Trustee in line with the aspirations of the Noongar people – in accordance with the applicable statutory and policy framework. LGAs will retain standard decision-making powers relevant to the use and management of land, under the Local Planning Scheme / Town Planning Scheme and any applicable statute.

The Noongar Land Estate will be a diverse landholding across the six ILUA Areas and approximately 101 involved LGAs. The consultation process undertaken by DPLH is intended WALGA Annual General Meeting 2022 | Agenda 20 to ensure that LGAs can disclose relevant information to inform the decision-making of the Trustee as to whether or not the land should be included in the Noongar Land Estate. Decisions around whether or not land is Cultural Land, Development Land or a combination of both is for the Trustee to make in consultation with the relevant Noongar Regional Corporation after land is accepted for transfer, and may have relevance to the future management of the land. However, LGAs can safely assume that land included into the Noongar Land Estate will be used and managed in accordance with the applicable zoning.

WALGA advised DPLH that generally, a Local Government would consult with their local community about changes to the use of Local Government managed land, and that the 40 day consultation timeframe did not allow for this. DPLH responded as follows:

LGAs may elect to undertake consultation with community regarding tenure change proposals, but it is not a requirement of the Strategy nor of the State Government more broadly. DPLH recommends that the standard approach taken by LGAs for any other Crown land administration matters referred by DPLH is the example to follow. Community consultation may be more appropriate at the point of a development proposal being submitted to the LGA by the Trustee, as all detail requested above would be known and consultation can be well-informed. It is understood that consultation with community on development proposals is commonly undertaken by LGAs before consideration of a proposal by Council.

Please be advised that UCL and UMR (and Crown land more broadly) are the jurisdiction of the Minister for Lands, and while LGAs may have a role in regulating or to an extent managing UCL and UMR, this role does not form an interest in the land or a veto power for tenure proposals over the land.

DPLH undertakes comprehensive consultation on land under consideration for possible inclusion in the Noongar Land Estate to obtain any and all information that may be relevant to the future use and management of the land by the Trustee. This includes all relevant LGAs and key State Agencies including the Department of Mines, Industry Regulation and Safety, the Department of Biodiversity, Conservation and Attractions and



the Department of Water and Environmental Regulation. Service providers are also consulted on each land parcel.

All are provided with a 40 day timeframe for providing a response. At present, DPLH is actively progressing approximately 100,000 hectares of land across the six ILUA Areas through the Phases of the Strategy towards formal offer to the Trustee. The scope of this process is substantial, so the timeframes within the Strategy are critical for ensuring information collection can occur in a timely manner.

MOTION 3.7 LAND OFFSET COMPENSATION TO LOCAL GOVERNMENTS

MEMBER COMMENT

It is proposed that Councils similar to the Shire of Gingin who are having large sections of rateable land locked away due to Developer Land Offsets need to be compensated for the loss of revenue.

The Shire of Gingin recently met with the Department of Biodiversity, Conservation and Attractions (DBCA) representatives regarding this matter, and they agreed that the Shire of Gingin is being targeted due to the type of Banksia bush that is within the Shire. The Shire of Gingin is not and will not be the only Local Government targeted through this type of scheme into the future.

The issues for the Shire of Gingin, other Local Governments and future Local Governments are as follows:

1. The requirement of land offsets is currently 1/7. Being that for every acre of land required by a developer, seven acres needs to be provided as offset.
2. What is currently rateable land for the Shire is being purchased and then handed to DPIRD for management.
3. The Shire of Gingin's loss of rates on a once off may seem minimal (last year the reduction was approximately \$10,000) but accumulating every year and then compounding becomes a significant amount of future income.
4. Council still needs to maintain the assets surrounding the site, providing access and egress from the blocks for DBCA and other adjoining ratepayers.
5. The land within the Shire of Gingin is in high demand due to its proximity to the metropolitan area and intensive agriculture and horticulture is dominant.
6. DBCA receives a 7-year management payment from the Developer to manage the newly offset land which is not enough for DBCA to manage the property, yet Council receives nothing other than a negative rates bill and continuous maintenance cost.
7. Whilst the metropolitan based Developer is making large amounts of money from the development and the metropolitan Council is receiving an increased rate book, the loser in the equation is the Local Government where the land is being offset and DBCA.
8. The current amount of non-Rateable land within the Shire is in excess of 30% and growing each year.
9. The additional land that is added to DBCA requires this Department to be appropriately funded, however advice received is that DBCA is underfunded and this in turn affects Local Government in regard to land management and increased fire risk.

The Shire of Gingin is not unique with this matter, however we are being significantly affected at this current time and will be well into the future and as such, request that WALGA advocate to the State to ensure that Local Governments losing rateable land



through offset purchases are properly compensated for the loss of rates and continued maintenance.

SECRETARIAT COMMENT

In Western Australia, there are many reasons for land being transferred for public purposes to the Crown. In parts of the State, these lands represent significant portions of the total Local Government area, for example Local Governments with extensive areas of National Parks and State Forest.

The State Government Offsets Register shows offset land acquisitions or land transfers to conservation within these Local Government areas: Shires of Dandaragan, Gingin, Chittering, Waroona, Harvey, Augusta-Margaret River, Cities of Bunbury, Busselton, Mandurah and in the Perth metropolitan region.

Over 50 per cent of new housing construction in the Perth and Peel region is expected to be provided through greenfield development, indicating that the issue identified by the Shire of Gingin is likely to persist.

The requirement to provide environmental offsets is legislated through the Environmental Protection Act 1986 (WA) and under Part 9 of the Environmental Protection and Biodiversity Conservation Act 1999 (Commonwealth). In Western Australia, offsets are implemented through the WA Environmental Offsets Framework. A review of this framework was conducted in 2019.

WALGA's comments on the review advocated for adequate resourcing to manage offset lands to address any biosecurity and bush fire risk implications and to require that Local Governments be consulted regarding any proposed offsets in their areas. These points were also raised in WALGA Submissions on the Strategic Assessment for Perth and Peel and the WA offset metrics guidelines. Under the WA Environmental Offsets Guidelines, it is the responsibility of the proponent to consult all relevant stakeholders regarding offsets, particularly those directly affected, including Local Government. The Guidelines identify the Department of Biodiversity, Conservation and Attractions (DBCA) as the key stakeholder in relation to offset planning due to their role as specialist scientific advisor and manager of the State's conservation lands.

In May 2022, the State Government released the Native Vegetation Policy for Western Australia, with a five year Implementation Roadmap which includes improvements to the environmental offsets framework. This will provide WALGA with the opportunity for continued advocacy on this issue.

MOTION 3.8 REVIEW OF THE RATING METHODOLOGY USED BY THE VALUER-GENERAL**MEMBER COMMENT**

The Valuer-General is an entity created under the Valuation of Land Act 1978. The Valuer-General forms part of Landgate's functions.

Landgate valuers conduct independent valuations of property based on the Gross Rental Values (GRVs) or and Unimproved Values (UVs) of a property.

These valuations are used by local governments, government agencies and emergency services as a basis to determine property rates, service charges and levies as well as land tax.



In Victoria, valuations are conducted using the capital improved value of a property. Capital improved value is based on the value of the land plus the buildings on it and any other capital improvements. This method may provide a more fair and equitable assessment of the value of land across various land uses in Western Australia including agriculture, residential, commercial and mining. This in turn would provide a more fair and equitable basis for local government rating.

A review of rating methodologies set in the Valuation of Land Act 1978 would ensure that valuation methods relied upon by local government represent the most appropriate method.

SECRETARIAT COMMENT

WALGA currently does not have an advocacy position on which is the most appropriate valuation methodology

MOTION 3.9 WA LOCAL GOVERNMENT RATING MODEL**MEMBER COMMENT**

The Shire of Gingin and many other Local Governments struggle to have appropriate rates raised that are adequate for the correct use of the land within the Shire that addresses the impacts that these ratepayers have on the Shire's Assets.

For example, within the Shire of Gingin, there are large numbers of Unimproved Value (UV) rated properties that have large scale infrastructure servicing significant commercial operations but are captured within the definition as a Rural Pursuit. Some of these properties have tens of millions of dollars of infrastructure but only contribute a UV valuation and an additional differential rate.

If all properties were rated Gross Rental Value (GRV) or the rates based on Capital Value (value that the land would likely sell for on the open market), all rural land would still hold an appropriate GRV/Capital Value that would not be too dissimilar to their current rates, however those that intensify their land would achieve a naturally higher GRV/Capital Value making the rating across a Shire far more equitable, easier to manage and would simplify and reduce the cost of the valuation process.

Whilst not every Council may wish to take this step, it is proposed that the Local Government has the ability to review and decide if it wishes to remove the UV rate. With the Valuer Generals' Office conducting routine valuations for both UV and GRV it would not be out of the question for the valuation to be changed to meet this process.

It is noted that within South Australia and Victoria 89% of the Local Governments use Capital Value, Tasmania is progressing to Capital Value whilst New South Wales is based on Land Value only, Northern Territory is based only on Unimproved Capital Value, Queensland is Site Value and Unimproved Value and the ACT is Unimproved Value only. It is clear that whilst there is a range of valuations across Australia there is a bias growing towards utilising Capital Value of Land.

For example, we have a location within the Shire that has a water license and two bore holes. Whilst this is the extent of the infrastructure, they pump water out 24/7 for bottling in Perth, a GRV/Capital Value would be much higher in value to Council than the minimum rates currently being received. This company has significant heavy vehicles utilising Council roads every day of the week to keep up with the demand and creates significant road maintenance issues for Council.



The impacts of water licenses within the Shire have been dramatic as they are now a strong trading commodity and have doubled the value of land with a water license, yet it is not being considered by the Valuer Generals' Office as part of the overall valuation assessment of the land. Water licenses are incredibly valuable to producers as it increases their productivity and profits from smaller properties and as water licenses are very difficult to access, as allocations are full in most areas, many are trading or selling off portions of licenses clearly showing that water licenses have an inherent value that is increasing rapidly.

Again, the Shire calls on WALGA to advocate to the Minister and Valuer Generals' Office to undertake a review of the rating system to either abolish the UV valuation or provide the ability for the Local Government to choose its rating structure.

SECRETARIAT COMMENT

WALGA currently does not have an advocacy position on which is the most appropriate valuation methodology.

MOTION 3.10 REFORM OF THE CAT ACT 2011

MEMBER COMMENT

Background The Western Australian State Government through the (then) Department of Local Government released a Discussion Paper (January 2011) titled Proposal for Domestic Cat Control Legislation.

This consultation and proposed reform process ultimately led to the Cat Act 2011 (Cat Act) receiving Royal Assent on 1 November 2012. The Cat Act fully commenced in 2013 and was introduced to:

- provide for the control and management of cats; and
- promote and encourage the responsible ownership of cats, and for related matters.

The Department of Local Government, Sport and Cultural Industries (DLGSC) commenced a statutory review of the Cat Act 2011 and the Dog Amendment Act 2013 in May 2019. The review undertaken by DLGSC was tabled in the WA Parliament by the Minister for Local Government on 27 November 2019. Findings of the Review in relation to Cat Act included:

1. Registration of cats is strongly supported. The current three options for periods of registration should remain.
2. Registration periods for cats and dogs should be the same.
3. A central registration database for cats should be explored.
4. Feedback indicated that the wearing of collars and tags achieves the purpose of enabling a cat to be identified by rangers — including making it obvious that it is a domestic cat that has an owner. There is strong support for this to continue with no change.
5. Strong support from the public, local governments and industry exists for the practice of microchipping cats to continue.
6. Improvements could be made to the way microchip details are stored — this could be in either a national or State-based database.
7. Feedback indicated that education on the current requirements of microchipping, focusing on obligations of owners/breeders/rescues when a cat is transferred to a new owner and the need to keep information up-to-date, is necessary to achieve the desired outcomes of reuniting pets with their owners and the obligations of being a responsible cat owner.



8. There is strong support for cat numbers and confinement/curfews of cats to be implemented State-wide (in legislation) rather than through individual local laws — to provide consistency among local governments.
9. As a means of controlling cat numbers, there were multiple requests in the feedback received for the Cat Act to be brought into alignment with the Dog Act by placing greater restrictions on cat owners in relation to the number of cats that people can own.
10. The provisions in the Cat Act for cats to be sterilised should remain.
11. Feedback indicated that the age of cat sterilisation should be lowered, although further expert consultation on this will be needed.

Outcomes from the Statutory Review were:

- The Dog Amendment (Stop Puppy Farming) Act 2021 received Royal Assent on 22 December 2021 with the aim to:
 - o to amend the Dog Act 1976 to provide for matters relating to the sterilisation and breeding of dogs and the supply of dogs to and by relevant pet shop businesses;
 - o to amend the Dog Act 1976 and the Cat Act 2011 to provide for a centralised registration system; and
 - o to make other amendments to the Dog Act 1976 No further amendments, nor reforms of the Cat Act 2011 have occurred since.

COMMENT

Any proposed changes to cat control measures should include public consultation. The Shire of Capel hopes the State Government prioritises reforms of the Cat Act, similar to recent reforms with the Dog Act and Animal Welfare regulations.

The Shire of Capel supports a review of current cat control measures and to look at initiatives to better protect native wildlife, along with an accompanying education campaign.

Many Local Governments throughout the State have looked at similar reforms recently, however the current Act inhibits the control of cats and their impacts on native wildlife. Shire understands that many people in the community love cats, with reforms looking to find a balance between valued family pets and protecting our unique and in some cases, endangered native animals.

SECRETARIAT COMMENT

This is a developing issue in the sector. A number of Local Governments have already attempted to make Cat Local Laws that seek to prohibit cats from roaming, require cats to be securely kept on premises of the owner, and prohibited from being in any public place. Parliament's Delegated Legislation Committee has disallowed a number of such attempts on the grounds that the local lawmaking head of power in the Cat Act does not contemplate local laws to be made for these purposes.

The Committees views are summarised in this excerpt from the Annual Report 2016 (Report 89 at 5.32):

In each of these cases, the Committee considered that the relevant provisions of the local law were inconsistent with or repugnant to the provisions of the Cat Act 2011 which:

- allow for cats to be in public places unless they do not comply with the provisions of the Act requiring registration, microchipping and sterilisation
- empower the making of local laws prohibiting cats in certain specified areas. WALGA's current advocacy position supports a review of the Cat Act that will introduce broader powers of cat control.



MOTION 3.11 WALGA BEST PRACTICE GOVERNANCE REVIEW – PRINCIPLES

BACKGROUND

State Council commissioned the WALGA Best Practice Governance Review in March 2022 to ensure that WALGA's governance model is contemporary and agile and maximises engagement with members.

Governance Reviews allow organisations to re-examine their membership structure, constitution, board role, board composition, governance approach and policies. For WALGA, the Best Practice Governance Review represents an opportunity to review and reshape the governance model to ensure WALGA is well-placed to:

- Deliver strong, clear, focused, and consistent policy positions on strategic matters of the most importance to Local Governments in WA,
- Drive advocacy outcomes and impact on behalf of Local Government in WA, and the communities they serve, and
- Embed agility and responsiveness, ensuring member concerns are heard, respected, and represented in a timely, efficient, and effective manner.

There are several drivers for the review.

WALGA's Corporate Strategy 2020-2025 identifies the governance model as a key enabler of performance, with the following description: We have contemporary governance and engagement models.

Member and stakeholder feedback from a range of sources over several years has highlighted dissatisfaction with the governance model. Specifically, feedback relates to:

- **Structure** – WALGA's governance structure is seen by members and stakeholders as creating roadblocks, hindering decision-making, and holding WALGA back.
- **Responsiveness** – there is a perception among members and stakeholders that WALGA's governance model is slow and bureaucratic in an environment that requires agility.
- **Prioritisation and focus** – members and stakeholders acknowledge the challenges of developing unified Local Government policy positions and advocacy priorities given the diversity of Local Government sector interests.
- **Transparency and accountability** – feedback from members and stakeholders suggests that WALGA should be more transparent about its decision-making processes.
- **Zones** – Feedback from members and stakeholders in relation to Zones and Zone meetings is mixed. A proportion of WALGA's membership believes that Zones are not as representative, strategic nor effective as they potentially could be.

Legislative reforms could also impact WALGA's governance arrangements. The Minister for Local Government's reforms to the Local Government Act 1995 propose to remove WALGA from being constituted under the Local Government Act. Secondly, the Review of WA's Industrial Relations Act 1979 provides an opportunity for WALGA to be constituted as a registered employer organisation, which would enable WALGA to make applications in its own right on behalf of the sector.

Following several reviews and amendments, the Best Practice Governance Review also represents an opportunity to ensure alignment between WALGA's governance



documentation. In addition, State Council resolved in September 2021 for amendments to the Constitution to be developed to deal with matters related to State Councillors' candidature for State or Federal elections.

To undertake the Best Practice Governance Review, State Council appointed a Steering Committee comprising the following members:

President Cr Karen Chappel JP WALGA President (Chair)

Cr Paul Kelly WALGA Deputy President

Cr Phil Blight Country State Councillor

Mayor Carol Adams OAM Metropolitan State Councillor President

Cr David Menzel, Shire of Wyndham East Kimberley

Country Elected Member Mayor Albert Jacob, City of Joondalup Metropolitan

Elected

Member Andrew Sharpe, City of Albany Country Chief Executive Officer

David MacLennan, City of Vincent Metropolitan Chief Executive Officer

Nick Sloan WALGA Chief Executive Officer

The Steering Committee is supported by consultants PwC and WALGA officers, Tony Brown, Executive Director Member Services, Tim Lane, Manager Corporate and Association Governance, and Kathy Robertson, Executive Officer Governance.

The Steering Committee has met five times to late August and has:

- Endorsed terms of reference and an overarching project plan
- Considered the 2019 review including previous deliberations and outcomes
- Commissioned and considered work on comparator membership-based advocacy organisations:
 - o Australian Hotels Association (AHA) o Australian Medical Association (AMA)
 - o Chamber of Minerals and Energy (CME) o Chamber of Commerce and Industry (CCI) WALGA Annual General Meeting 2022 | Agenda 30
 - o Pharmacy Guild of WA
- Reviewed governance models of Local Government Associations in other States and New Zealand:
 - o Local Government New South Wales (LGNSW)
 - o Municipal Association of Victoria (MAV)
 - o Local Government Association of Tasmania (LGAT)
 - o Local Government Association of South Australia (LGASA)
 - o Local Government Association of Queensland (LGAQ) o Local Government Association of the Northern Territory (LGAT)
 - o Local Government New Zealand (LGNZ)
- Adopted a timeline for the way forward including member consultation and engagement, and
- Endorsed principles to be presented to the membership at the 2022 Annual General Meeting as per this agenda item.

SECRETARIAT COMMENT

Supported by State Council, the Steering Committee is putting forward principles to this Annual General Meeting to gauge member support for progressing the Best Practice Governance Review to the development of potential options for member consultation and engagement.

The principles put forward by the Steering Committee and endorsed by State Council at their 22 August 2022 Special Meeting, will guide the development of potential models for member consultation.



As per the attached Principles document, the three principles – Representative, Responsive and Results Oriented – comprise three or four components, component descriptions and governance implications.

Embedded in the governance implications are considerations for potential changes as well as principles that will be adhered to in the development of model options. For instance, the principles propose that WALGA’s governing body will:

- Maintain equal metropolitan and country representation,
- Continue the practice of electing the President from and by the governing body, and
- Facilitate responsive decision making with clear processes for members to influence policy and advocacy.

Potential models may be considered by the Steering Committee, and subsequently State Council and WALGA members, that could:

- Potentially lead to a reduction in the size of the governing body,
- Consider alternative election arrangements to the governing body, and
- Consider alternative arrangements to the existing Zones.

Following consideration of the principles at the 2022 Annual General Meeting, as per this item, an extensive consultation and engagement process will be undertaken with members on potential governance model options.

The consultation and engagement process will be undertaken during October, November, and December 2022. Feedback from member submissions, workshops, and discussions will inform a final report to be considered at February 2023 Zone meetings and subsequently, the March 2023 State Council meeting.

Constitutional amendments will then be prepared for consideration by State Council followed by the broader membership at the 2023 Annual General Meeting. As per WALGA’s Constitution, amendments to the Constitution require endorsement by a 75 percent majority at both State Council and a general meeting of members. The principles are put forward for member consideration.

Item Description	Recommendation/Motion	
Road Traffic Issues	That WALGA Advocate on behalf of the local government sector to the State Government and in particular, Main Roads, to increase importance and weight given to local knowledge and input regarding road traffic issues including requests for speed reduction, intersection treatments and overall preventative and traffic safety measures.	SUPPORT
Car Parking and Traffic Congestion Around Schools	That WALGA engages with the State Government on behalf of Local Government to review issues associated with car parking and traffic congestion around school sites including but not limited to: <ol style="list-style-type: none"> 1. Reviewing car parking standards for schools; 2. Ensuring sufficient land is set aside for the provision of parking on school sites; 3. Reviewing the co-location of schools to avoid issues being exacerbated; 4. Restricting school access from major roads; 5. Developing plans to enable schools to manage school traffic; 6. Develop programs to educate drivers; and 7. Develop options and implement initiatives to encourage alternative modes of transport to school. 	SUPPORT
Proposal for Regional Road Maintenance Contracts with Main Roads WA	That WALGA assist Local Governments and work with the Hon Minister Rita Saffioti to introduce a similar program that is currently in play in Queensland and introduce a sole invitee Program for Local Governments to engage in a Road Maintenance Performance	SUPPORT

SHIRE OF GOOMALLING
 AGENDA FOR ORDINARY MEETING OF COUNCIL
 WEDNESDAY 21 SEPTEMBER 2022



	Contract with Main Roads WA.	
Northern Australia Beef Roads Program	That WALGA work with the Hon Madeleine King MP Minister for Resources and Minister for Northern Australia to make Beef Road Funding available to all Australian Local Governments north and south, or establish a Southern Australia Beef Road Funding Program to allow for equitable support across Australia's beef and agriculture industries.	SUPPORT
3D House Printing Building Compliance	That WALGA requests: <ol style="list-style-type: none"> 1. Assistance from Minister for Industry and Science The Hon Ed Husic MP, Minister for Housing and Homelessness, Small Business The Hon Julie Collins MP, Minister for Infrastructure, Transport, Regional Development and Local Government The Hon Catherine King MP to work with Ministers from all State and Territory Governments who have Building and Construction in their portfolios, to collaborate and to consider removing impediments within the National Construction Code Series and associated Australian Standards, that dissuade industry from adopting 3D printing as a building method. 2. That the Government provide instruments to incentivise private industry to develop 3D printing and include this as an acceptable building practice. 	CONDITIONALLY SUPPORT DELEGATES TO MAKE FINAL DECISION AT AGM
South West Native Title Settlement	That WALGA advocate to the State Government that Local Governments be provided with the full list of potential land to be requested for transfer as part of the South West Native Title Settlement and that a minimum of three months be provided for Council to provide feedback.	SUPPORT
Land Offset Compensation to Local Governments	That WALGA advocate to the State Government that the Developer requiring land offsets within another Local Government be required to pay a fee to the Local Government for the loss of rates and ongoing maintenance of infrastructure to the Land.	SUPPORT
Review of the Rating Methodology used by the Valuer-General	Advocate for a full review of the rating methodology used by the Valuer-General to value all land in the State of Western Australia.	CONDITIONALLY SUPPORT DELEGATES TO MAKE FINAL DECISION AT AGM
WA Local Government Rating Model	That WALGA advocate to the State Government and the Valuer Generals' Office that a different rating model be trialled across several Councils whereby the Unimproved Value rate is abolished, and all properties are rated for Gross Rental Value or Capital Value.	CONDITIONALLY SUPPORT DELEGATES TO MAKE FINAL DECISION AT AGM
Reform of the Cat Act 2011	That the WA Local Government sector requests the WA State Government prioritise reforms to the Cat Act 2011, in accordance with the Statutory Review undertaken and tabled in the State Parliament on 27 November 2019.	CONDITIONALLY SUPPORT DELEGATES TO MAKE FINAL DECISION AT AGM
WALGA Best Practice Governance Review – Principles	<ol style="list-style-type: none"> 1. The update on the Best Practice Governance Review project be noted, and 2. The principles to inform WALGA's future governance model, as follows and as per the attached Principles document, be endorsed: <ol style="list-style-type: none"> a. Representative – WALGA unites and represents the entire Local Government sector in WA and understands the diverse nature and needs of members, regional communities and economies. b. Responsive – WALGA is an agile association which acts quickly to respond to the needs of members and stakeholders. c. Results Oriented – WALGA dedicates resources and 	CONDITIONALLY SUPPORT DELEGATES TO MAKE FINAL DECISION AT AGM



	efforts to secure the best outcomes for Local Government and supports the delivery of high-quality projects, programs and services.	
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OFFICERS' RECOMMENDATION

That the Council:

1. Direct its delegates to the WALGA AGM to vote according to its wishes outlined within the above table.



9.4 PROPOSED ADDITIONS TO EXISTING GRAIN HANDLING & STORAGE FACILITY

File Reference	10.5A
Disclosure of Interest	Edge Planning & Property receive payment for planning advice to the Shire and declare a Financial Interest (section 5.70 of the <i>Local Government Act 1995</i>)
Applicant	CBH Group
Previous Item Numbers	Resolution 522 on 17 August 2022
Date	8 September 2022
Author	Peter Bentley – Chief Executive Officer
Authorising Officer	Peter Bentley – Chief Executive Officer
Attachments	
<ol style="list-style-type: none"> 1. Application letter and plans 2. Location plan 	

Summary

For Council to consider a proposal for further additions to an existing grain handling and storage facility at Lot 200 Konnongorring West Road, Konnongorring.

Background

Council has received a Development Application from CBH Group to extend the existing grain handling and storage facilities at their Konnongorring site. The proposed development includes the following:

- A third bulkhead is proposed 1 x 1.8m high, 210m long and 35m wide with the proposal increasing storage capacity at the facility by 87,770 tonnes including the previous 60,260 tonnes dealt with by the Council at the previous meeting;
- One extra 500 tonnes per hour drive-over-grid stackers in addition to the previous two 500 tonnes per hour drive-over-grid stackers; and
- Associated internal roads and drainage works.

The property is 34.2483 hectares and contains the existing Konnongorring CBH grain handling and storage facility.

The applicant in 2021 submitted a Traffic Impact Statement in support of a separate Development Application. The Traffic Impact Statement is not attached but can be made available to Councillors upon request.

Consultation

The current Development Application has not been subject to community and stakeholder consultation. It is a discretionary decision of Council whether or not to undertake advertising on the Development Application. Noting the scale of the existing grain handling and storage facility, the Shire administration suggest that no advertising is required for this Development Application given it is a relatively modest addition.



Statutory Environment

Planning and Development Act 2005
Planning and Development (Local Planning Schemes) Regulations 2015
Shire of Goomalling Town Planning Scheme No. 3 (TPS3)

The property is zoned ‘Rural 3 – General Farming’ in TPS3. An objective of the zone includes to assess development applications ‘to ensure minimal intrusion onto the rural landscape and the amenity of adjoining properties.’

The proposal is best described as ‘Industry Rural’ in TPS3. Industry Rural is an ‘AA’ use (the Council may at its discretion permit the use) in the Rural 3 – General Farming zone. Table 2 – Development Table of TPS3 sets a minimum boundary setback for buildings of 50 metres from the frontage boundary and 20 metres from other boundaries. The proposed development complies with TPS3 setback requirements.

Policy Implications

Nil

Financial Implications

The applicant has paid the Development Application fee. The applicant has a right of review to the State Administrative Tribunal to review the Council’s decision. If this occurred, the Shire would have associated costs.

Strategic Implications

Shire of Goomalling Community Strategic Plan 2019-2029	
Outcome 2.3	Actively support and develop local and new business
Outcome 3.2	Manage assets and infrastructure in a sustainable manner
Strategy 3.2.4	Provide commercial and industrial land aligned to economic needs and growth

Comment/Conclusion

It is recommended that Council conditionally approve the Development Application given:

- The grain handling and storage facility is existing. The proposed additions do not create significant additional impacts on the amenity of the area;
- Subject to addressing drainage, dust and noise, there are expected to be manageable environmental impacts;
- It is overall consistent with the planning framework;
- CBH Group note the proposed additional storage will not change the number of trucks entering and leaving the site;
- All vehicles enter and exit the site via the crossover off Konnongorring West Road, so there is no direct impact on Northam-Pithara Road (managed by Main Road WA);
- It supports growing the district economy and supporting job creation; and
- Development conditions can assist to control the use and management of the development, including it is suggested that the approval for the proposed two open storage bulkheads is limited to a 5 year period.

Voting Requirements



Simple Majority

OFFICERS' RECOMMENDATION

That the Council grants development approval to CBH Group for further additions to an existing grain handling and storage facility (two proposed open storage bulkheads) at Lot 200 on Deposited Plan 416028 Konnongorring West Road, Konnongorring, subject to the following conditions:

1. This development approval is valid until 21 September 2027 after which date the use of the two open storage bulkheads shall cease unless prior to that date a new Development Application has been submitted to and approved by the local government for the continuation of the development for an extended period.
2. The development hereby approved must be carried out in accordance with the plans submitted with the application, addressing all conditions, or otherwise amended by the local government and shown on the approved plan and these shall not be altered and/or modified without the prior knowledge and written consent of the local government.
3. The vehicle access ways are to be designed, constructed and drained prior to occupation. Thereafter, the applicant/landowner shall appropriately maintain these areas to the satisfaction of the local government.
4. Prior to commencement of any works, a Stormwater Management Plan shall be submitted for approval by the local government and thereafter implemented and maintained to the satisfaction of the local government. Amongst matters, the Stormwater Management Plan should ensure that all stormwater from proposed bulkheads and vehicle access ways are collected, detained and suitably treated on site for the 1 in 5 year average recurrence interval (ARI) storm event.
5. Any lighting devices are to be positioned and shielded so as not to cause any direct, reflected or incidental light to encroach beyond the property boundaries, in accordance with Australian Standard AS4282/1997.
6. The applicant/landowner is to implement dust control measures to the satisfaction of the local government on an on-going basis.

Advice

- A) This is not a Building Permit. A Building Permit must be obtained before any building works commence.
- B) The applicant/landowner should ensure that noise emissions do not exceed the assigned levels in prescribed in the *Environmental Protection (Noise) Regulations 1997*.
- C) If the applicant is aggrieved by this determination there is a right of review by the State Administrative Tribunal in accordance with the *Planning and Development Act 2005* Part 14. An application must be made within 28 days of the determination.



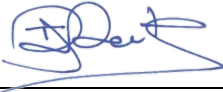
SHIRE OF GOOMALLING

Office address: 32 Quinlan Street, Goomalling WA 6460

Postal address: PO Box 118, Goomalling WA 6460

Phone: 9629 1101 Email: goshire@goomalling.wa.gov.au

APPLICATION FOR DEVELOPMENT APPROVAL

Owner Details		
Name: Co-operative Bulk Handling Ltd	ABN (if applicable): 29 256 604 947	
Address: Level 6 240 St Georges Terrace Perth WA		Postcode: 6000
Phone: (work): 08 9216 6061 (home): (mobile):	Fax:	E-mail: timothy.roberts@cbh.com.au
Contact person for correspondence: Timothy Roberts		
Signature: 	Date: 05 September 2022	
Signature:	Date:	
<i>The signature of the owner(s) is required on all applications. This application will not proceed without that signature. For the purposes of signing this application an owner includes the persons referred to in the Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 clause 62(2)</i>		

Applicant Details (if different from owner)		
Name: As above		
Address:		Postcode:
Phone: (work): (home): (mobile):	Fax:	E-mail:
Contact person for correspondence:		
The information and plans provided with this application may be made available by the local government for viewing in connection with the application. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Signature:	Date:	

Property Details		
Lot No: 200	House/Street No:	Location No:
Diagram or Plan No: 416028	Certificate of Title Vol. No: 4008	Folio: 309
Title encumbrances (e.g. easements, restrictive covenants):		
Street name: Konnongorring West Road	Suburb: Konnongorring	
Nearest street intersection: Northam-Pithara Road		

Proposed Development	
Nature of development: Additions to an existing Grain Handling & Storage Facility	
Is an exemption from development claimed for part of the development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what is the exemption for:	
Description of proposed works and/or land use: - 1 x 1.8m high 210m x 35m 27,510 tonnes bulkhead; - 1x 500tph drive-over-grid stacker; and - Associated internal roads and drainage basin works.	
Description of exemption claimed (if relevant):	
Nature of any existing buildings and/or land use: Grain Handling & Storage Facility	
Approximate cost of proposed development: \$400,000	
Estimated time of completion: 4 weeks following approval	
OFFICE USE ONLY	
Acceptance Officer's initials:	Date received:
Local Government reference no:	



05 September 2022

Chief Executive Officer
Shire of Konnongorring
Via email: ceo@konnongorring.wa.gov.au

Dear Peter,

LOT 200 ON DEPOSITED PLAN 416028, KONNONGORRING STORAGE ADDITION TO AN EXISTING GRAIN HANDLING & STORAGE FACILITY

CBH is seeking development approval from the Shire of Konnongorring for a proposed addition (storage bulkhead) to an existing grain handling and storage facility located at Lot 200 on Deposited Plan 416028, Konnongorring. The subject application is prepared in accordance with Schedule 2 (Deemed Provisions) of the Planning and Development (Local Planning Schemes) Regulations 2015 and the Shire of Konnongorring Local Planning Scheme No. 3.

As you know, CBH had a record harvest last year where its existing storage infrastructure was not enough to keep up with the record crop. The Shire of Konnongorring assisted CBH with this storage shortfall through approving a development application for two additional open bulkheads at the Konnongorring CBH site.

Given the current forecast of another significant harvest for FY22/23 and the large amount of carryover grain that remains at many of our receival sites, CBH identified the need to build emergency storage at sites with forecasted storage deficits for this harvest. At its August 2022 Ordinary Council meeting, the Shire of Konnongorring again assisted CBH with this storage shortfall through approving a development application for a further two open bulkheads.

Growers in the area are continuing to submit their paddock planners and as the beginning of harvest draws closer, we are able to better understand storage needs across the state. Konnongorring has again been flagged as a site where there is a likelihood that further emergency storage could be needed. As such CBH is seeking development approval from the Shire of Konnongorring for an additional open bulkhead with a storage capacity of 27,510 tonnes.

Traffic Management

Last years' record harvest meant a higher than expected amount of grain needed to be stored at CBH sites prior to it going to Port. A large amount of carryover grain remains at many of these sites. If a CBH site is full and not able to accept any more grain, then operationally CBH must bring in trucks sooner to outload grain so a site can store more. If this out loading does not occur and a site remains full, trucks still use the road to deliver grain driving past Konnongorring to a grain receival site closer to Port.

Additional storage capacity does not affect local grain production or the number of trucks coming to and from the site, it only changes the way grain is managed and handled onsite. The effect of constructing the emergency storage is that out loading movements during the busy harvest period that keep the site open for grower receivals are eliminated.

Stormwater Management

All stormwater drainage associated with the proposed development is to be contained and disposed of on-site. As part of this application, an onsite drainage basin will be constructed that caters for a 5-year ARI event with all stormwater runoff from the proposed bulkheads and associated accessways directed to this drainage basin system where all surface water will be detained on-site up to the 5-year ARI event. It is acknowledged that the previous development approval issued by the Shire at the August 2022 Ordinary Council Meeting conditioned provision of a Stormwater Management Plan prior to the commencement of any works. CBH would again be supportive of a similar condition being imposed on any development approval whilst it continues to work through its drainage design.

Noise & Dust Management

CBH shall ensure that noise from the specification and installation of any mechanical equipment as well as traffic and construction noise does not exceed assigned levels prescribed in the *Environmental Protection (Noise) Regulations 1997*, when it is received at a neighbouring property. CBH undertakes frequent noise and dust monitoring across its sites to ensure that dust and noise levels are measured and are mitigated whenever there is an exceedance.

The proposed additional bulkhead is aligned with the planning framework and is not considered to result in any new amenity impacts to the surrounding area. CBH respectfully requests the Application for Development Approval is considered by the Shire of Konnongorring expeditiously given the straightforward nature of the application and its general compliance with the Shire's planning framework. Should you have any question in relation to the details provided in this submission, please contact Timothy Roberts on 9216 6061 or timothy.roberts@cbh.com.au

Yours Sincerely,



Timothy Roberts
Specialist – Regulatory Approvals Adviser



EXISTING ENTRY WEIGHBRIDGE

EXISTING DRAINAGE BASIN

PROPOSED DRAINAGE BASIN

INSTALL CULVERT

PROPOSED DRAINAGE BASIN

SITE ENTRY AND EXIT

EXISTING EXIT WEIGHBRIDGE

EXISTING DRAINAGE BASIN














EXISTING MARSHALLING AREA

EXISTING DRAINAGE BASIN

KONNONGORRING WEST ROAD

NORTHAM - PITHARA ROAD

DRAWING LEGEND

-  TRAFFIC MOVEMENTS - TRUCKS FULL
-  TRAFFIC MOVEMENTS - TRUCKS EMPTY
-  LOT BOUNDARIES
-  CBH SITE BOUNDARY
-  CBH RAIL LEASE BOUNDARY
-  PROPOSED CBH BOUNDARY
-  OHP
-  UGP
-  UWG
-  C
-  UNDERGROUND STORMWATER PIPES
-  RAIL LINE
-  EPA INDUSTRIAL/SENSITIVE LAND USE SEPARATION DISTANCE - 500m RADIUS

STORAGE CAPACITIES

EXISTING SITE STORAGE

'E' TYPE STORAGE	HOR/01	Capacity
INT STEEL FRAME OBH	(01)	35,625t
INT STEEL FRAME OBH	(02)	33,125t
LOW STEEL FRAME OBH	(03)	15,700t
LOW STEEL FRAME OBH	(04)	15,700t
LOW STEEL FRAME OBH	(05)	26,000t
LOW STEEL FRAME OBH	(06)	25,000t
INT STEEL FRAME OBH	(07)	21,600t
INT STEEL FRAME OBH	(08)	31,200t
INT STEEL FRAME OBH	(09)	31,200t
INT STEEL FRAME OBH (TEMPORARY)	(97)	32,750t
INT STEEL FRAME OBH (TEMPORARY)	(98)	32,750t
INT STEEL FRAME OBH (TEMPORARY)	(99)	19,125t
TOTAL EXISTING STORAGE		340,175t

PROPOSED SITE STORAGE

INT (1.8m) STEEL FRAME OBH	(94)	27,510t
INT (1.8m) STEEL FRAME OBH	(95)	30,130t
INT (1.8m) STEEL FRAME OBH	(96)	30,130t
TOTAL PROPOSED STORAGE		87,770t

TOTAL SITE STORAGE 427,945t

TOTAL INCREASE IN STORAGE 87,770t

HATCHING LEGEND

 AREA OF NEW WORKS 41,700m²

PRELIMINARY ISSUE
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DATE 22.08.22

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15000 @ A3

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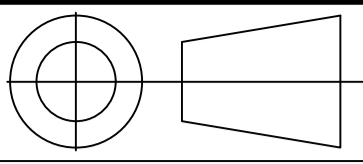


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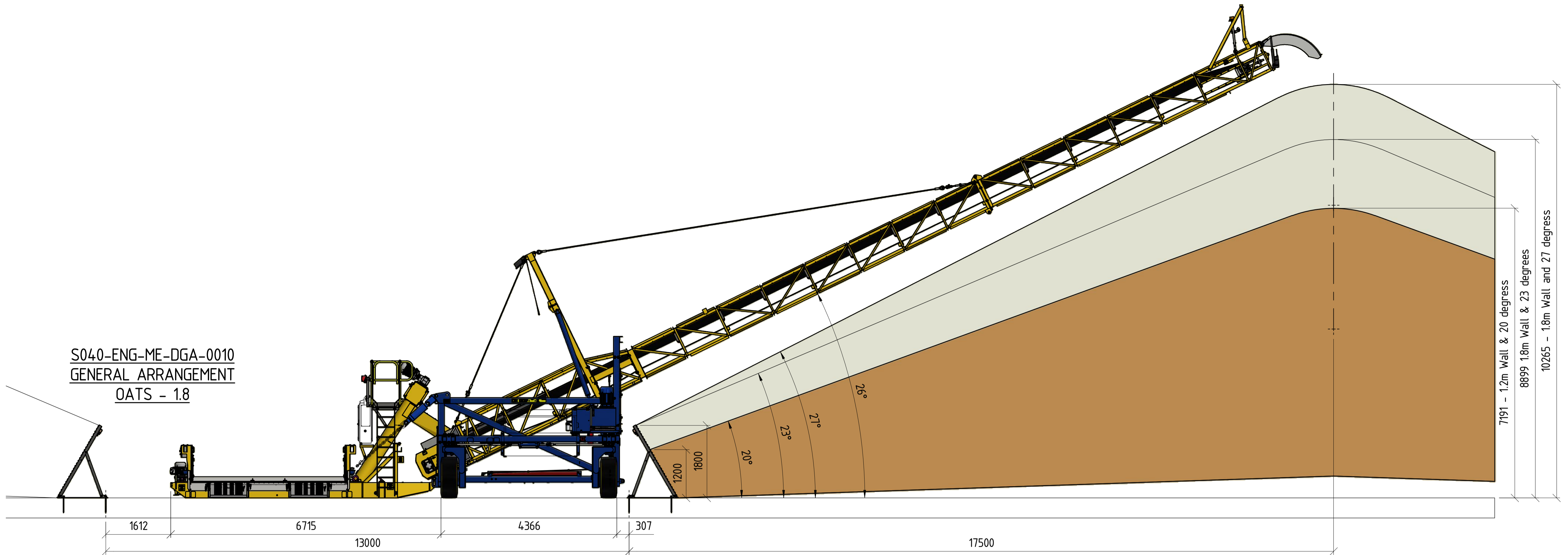
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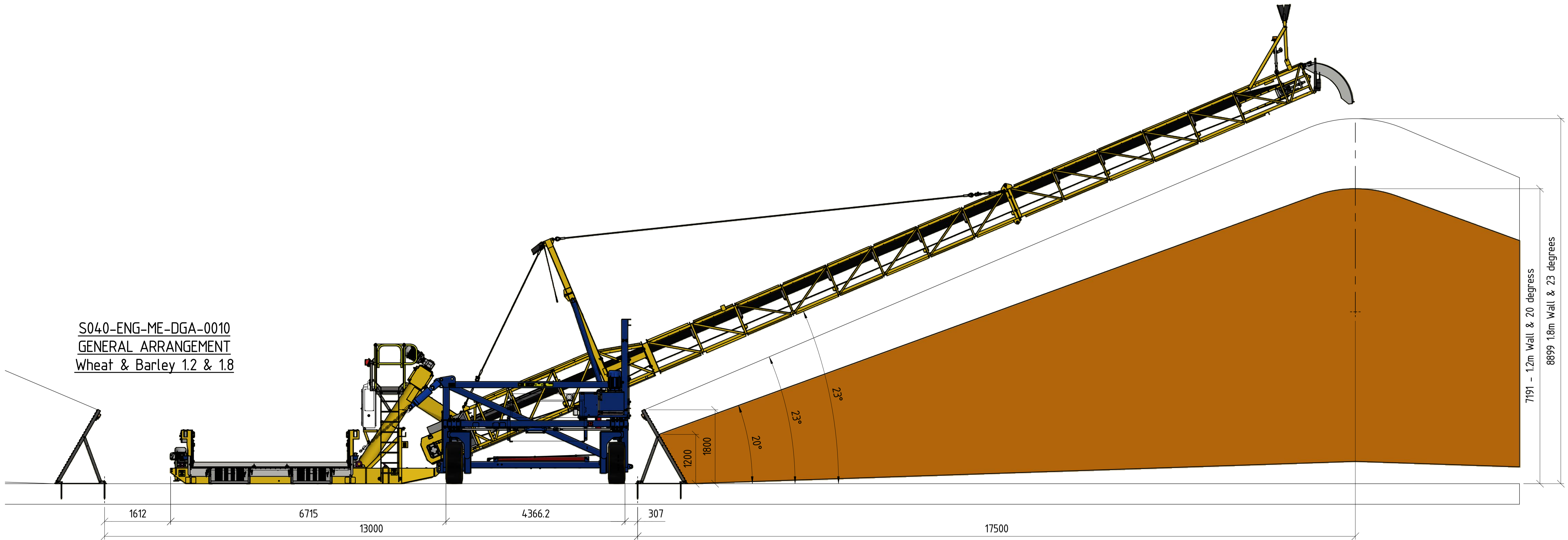
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REV.	A		



S040-ENG-ME-DGA-0010
GENERAL ARRANGEMENT
OATS - 1.8



S040-ENG-ME-DGA-0010
GENERAL ARRANGEMENT
Wheat & Barley 1.2 & 1.8



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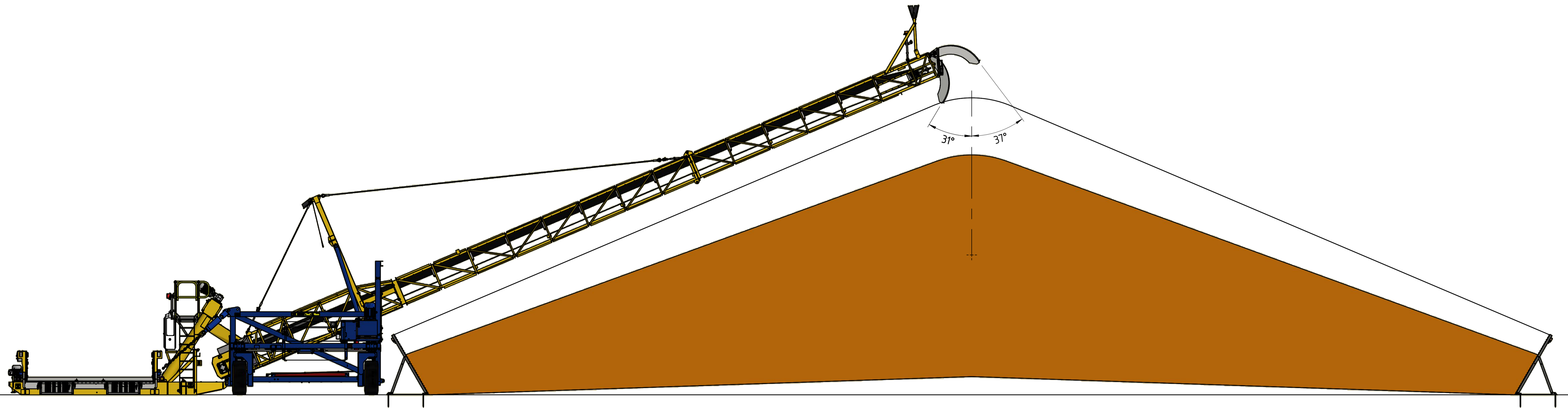
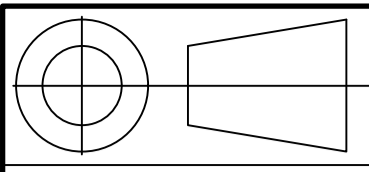
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CHECKED		30/12/1899
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APPROVED		30/12/1899

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ARRANGEMENT
GENERAL ARRANGEMENT

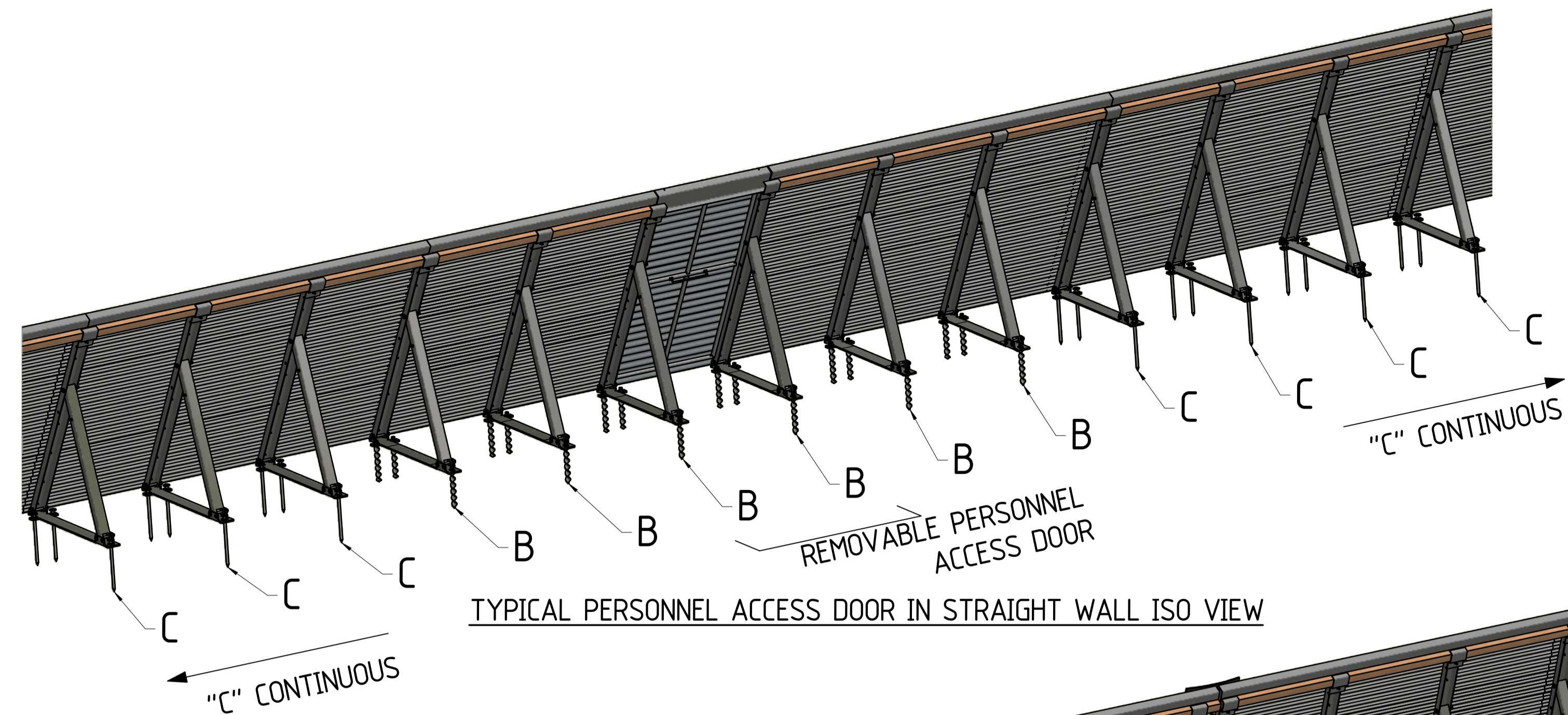
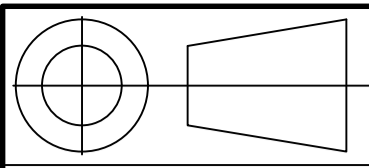
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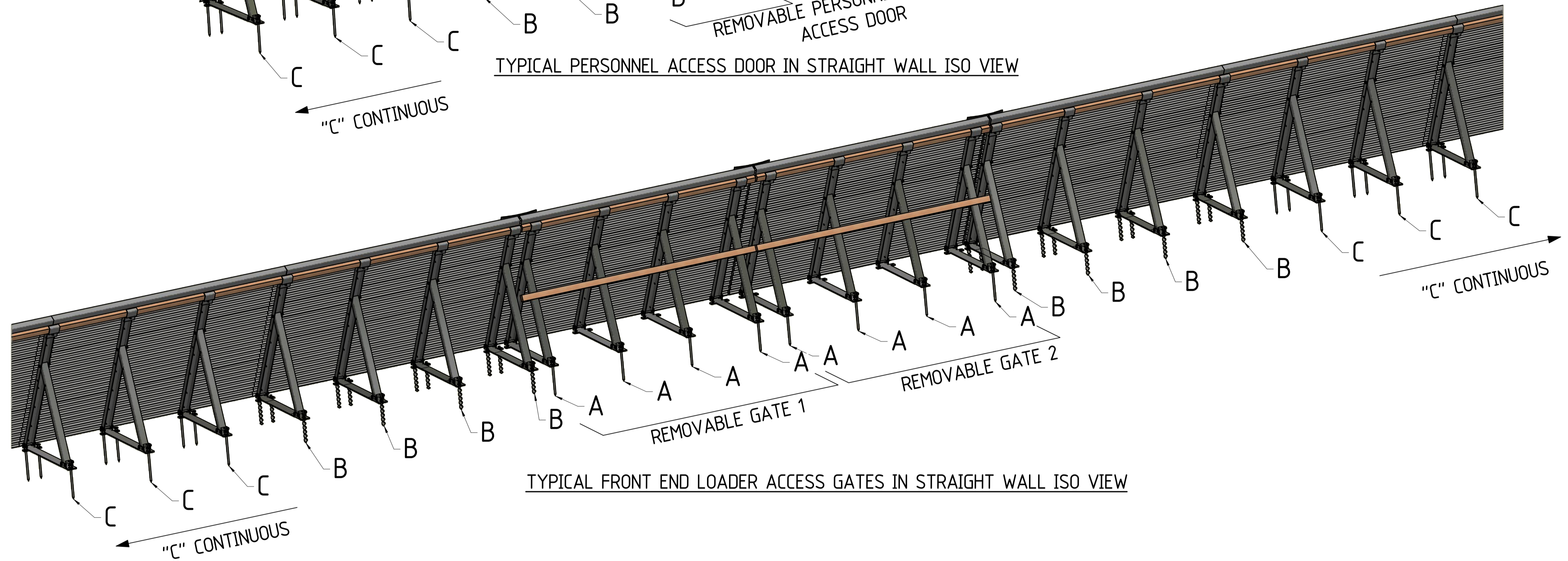


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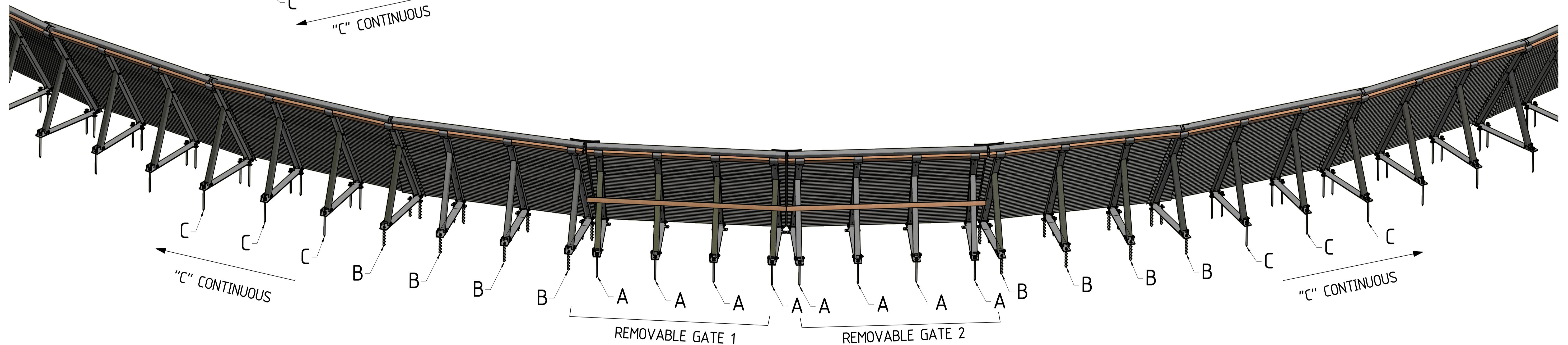
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TYPICAL PERSONNEL ACCESS DOOR IN STRAIGHT WALL ISO VIEW



TYPICAL FRONT END LOADER ACCESS GATES IN STRAIGHT WALL ISO VIEW



TYPICAL FRONT END LOADER ACCESS GATES IN CURVED WALL ISO VIEW

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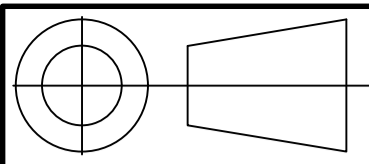
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CHECKED	LS 10/06/2020
ENGINEER	BC 11/06/2020
APPROVED	NH 11/06/2020

DRAWING TITLE
1.8m OPEN BULK HEAD
GENERAL ARRANGEMENT
ANCHORINGS LAYOUT

SITE	VARIOUS	SIZE	A1
PROJECT	STANDARD		
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REV.	0		

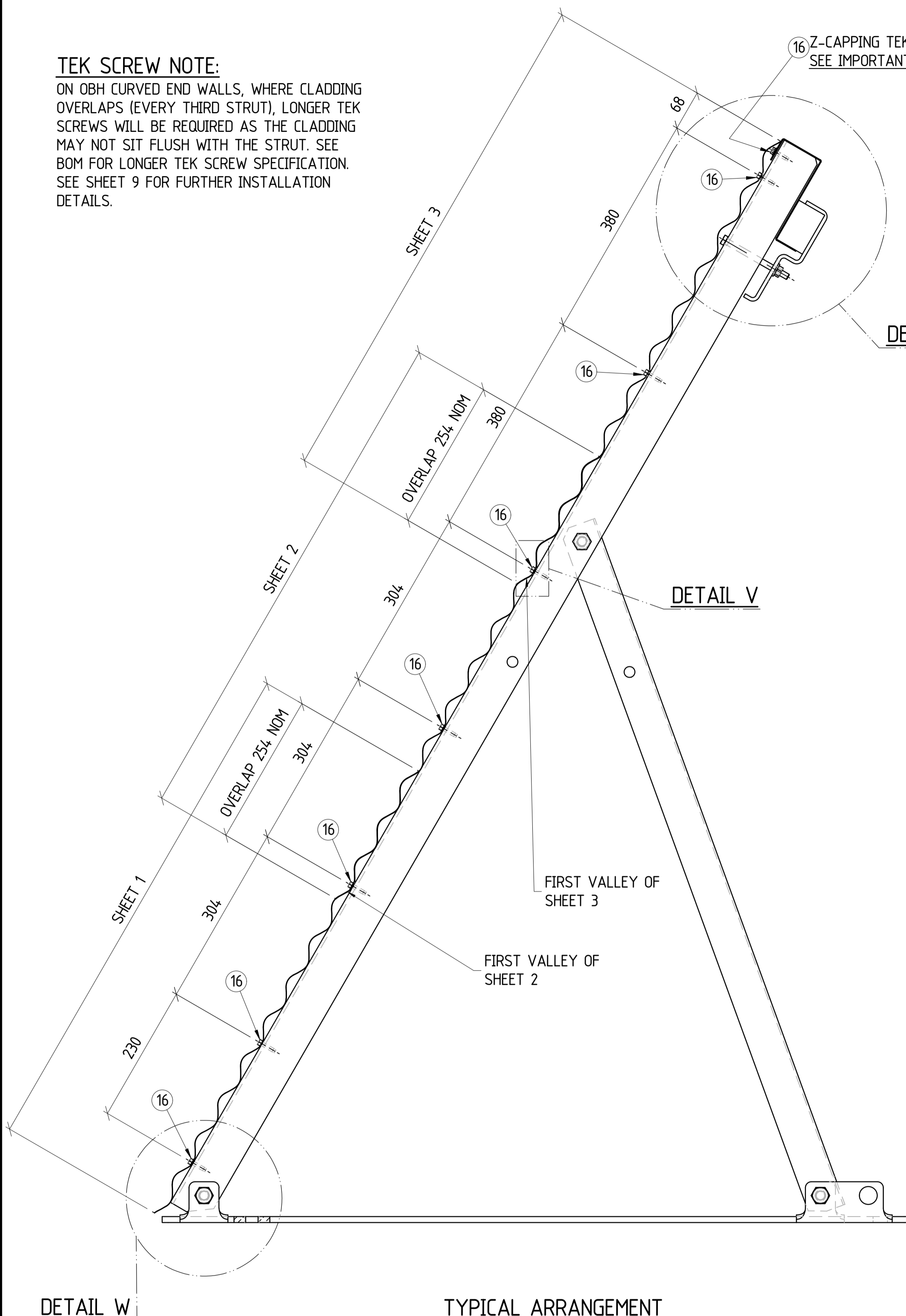
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TEK SCREW NOTE:

ON OBH CURVED END WALLS, WHERE CLADDING OVERLAPS (EVERY THIRD STRUT), LONGER TEK SCREWS WILL BE REQUIRED AS THE CLADDING MAY NOT SIT FLUSH WITH THE STRUT. SEE BOM FOR LONGER TEK SCREW SPECIFICATION. SEE SHEET 9 FOR FURTHER INSTALLATION DETAILS.



16 Z-CAPPING TEK SCREW
SEE IMPORTANT NOTES

DETAIL T

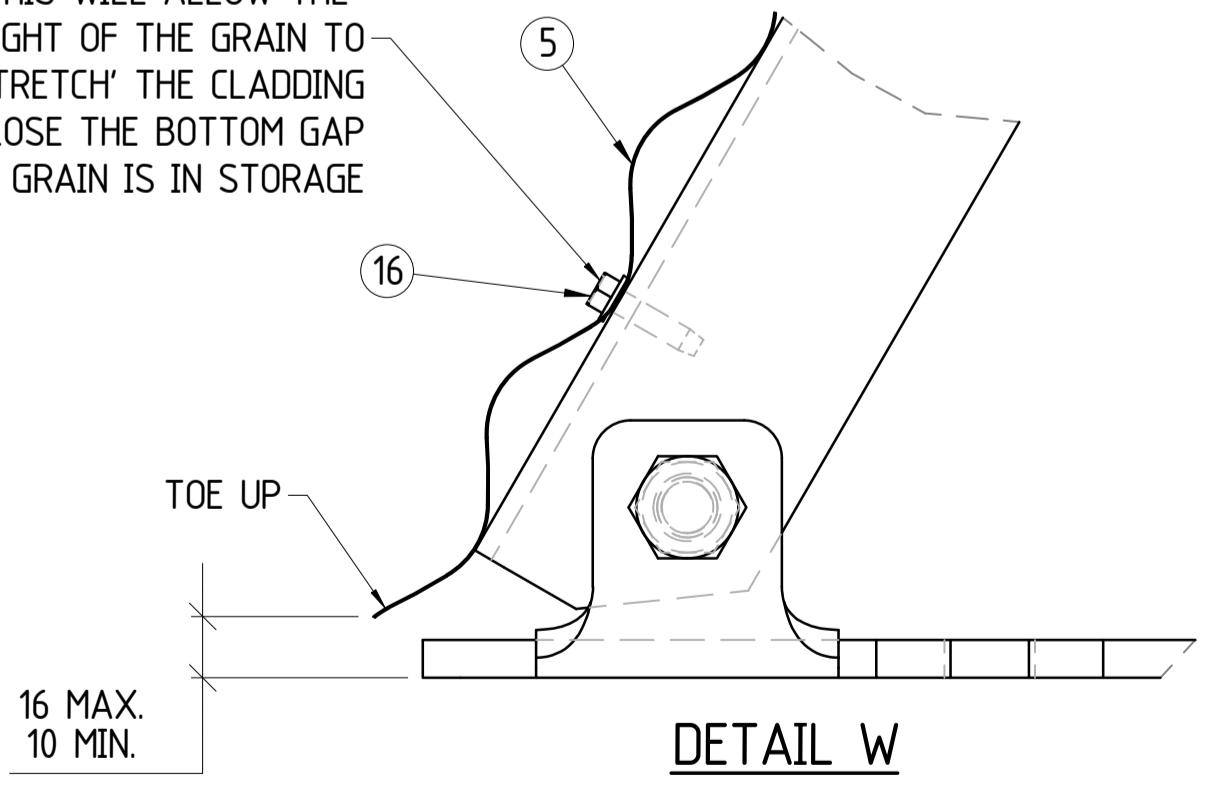
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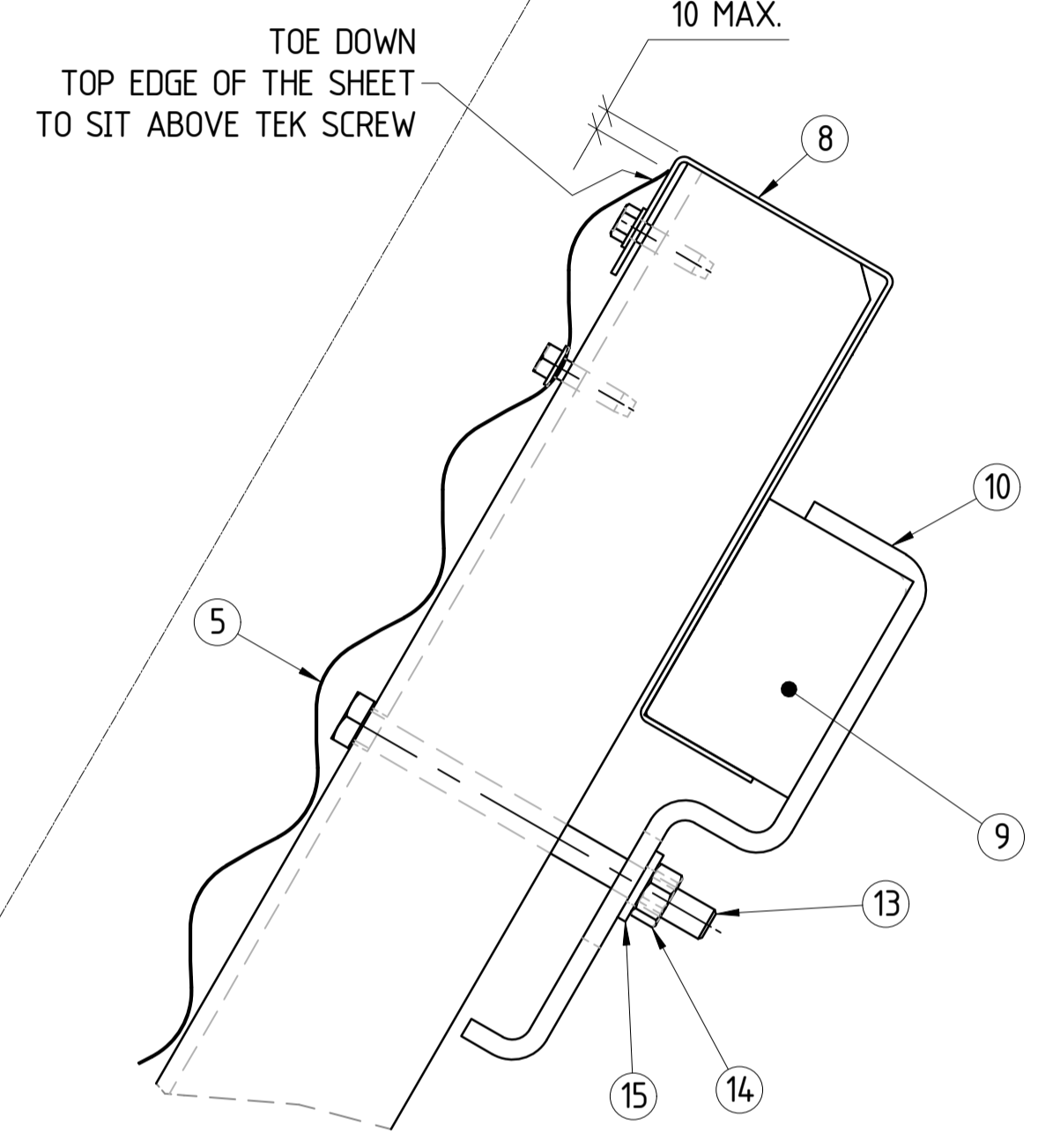
VIEW-AM

DETAIL T

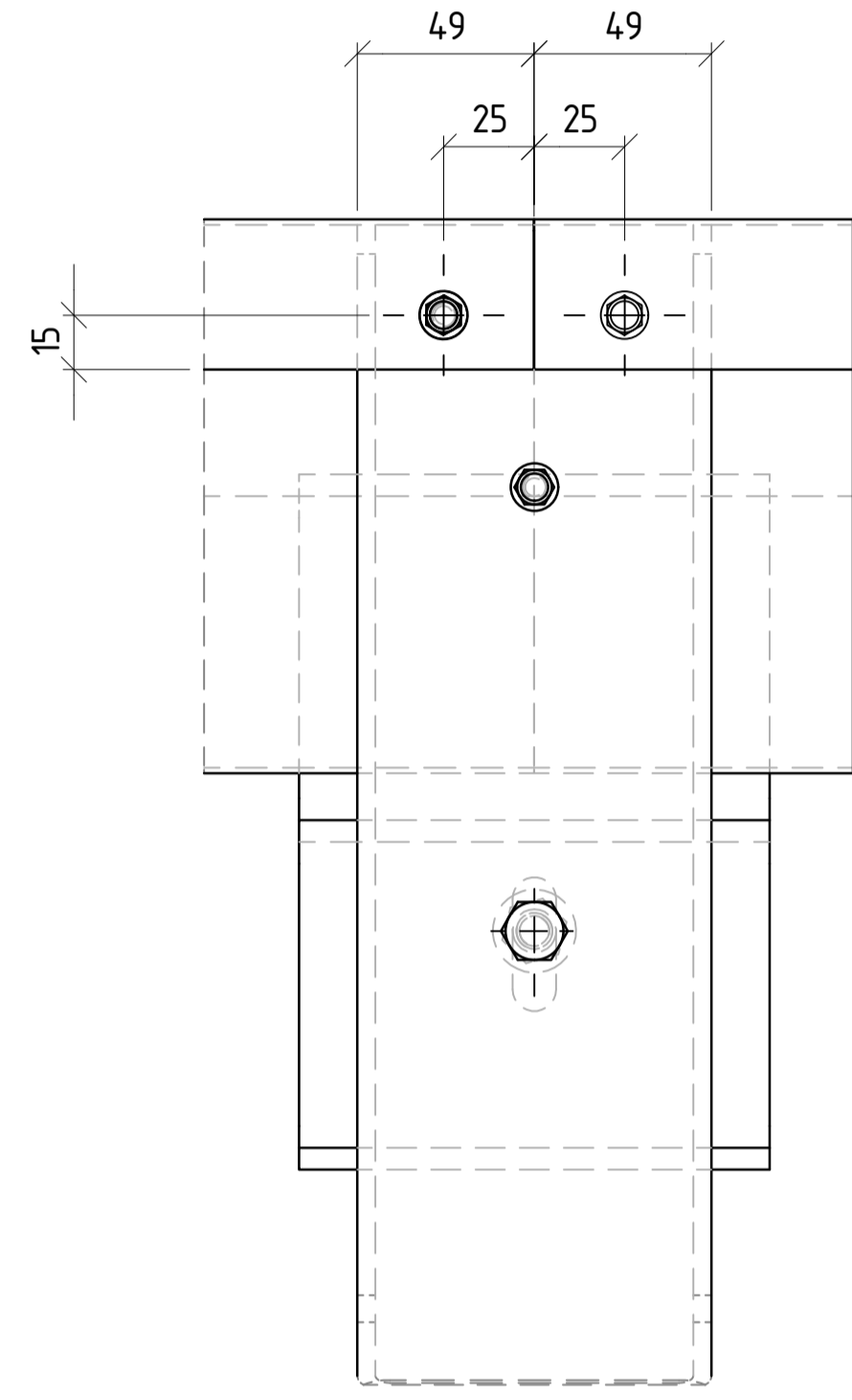
PLACE THE BOTTOM TEK SCREW IN THE SECOND CORRUGATION AS THIS WILL ALLOW THE WEIGHT OF THE GRAIN TO 'STRETCH' THE CLADDING AND CLOSE THE BOTTOM GAP WHILE GRAIN IS IN STORAGE



DETAIL W

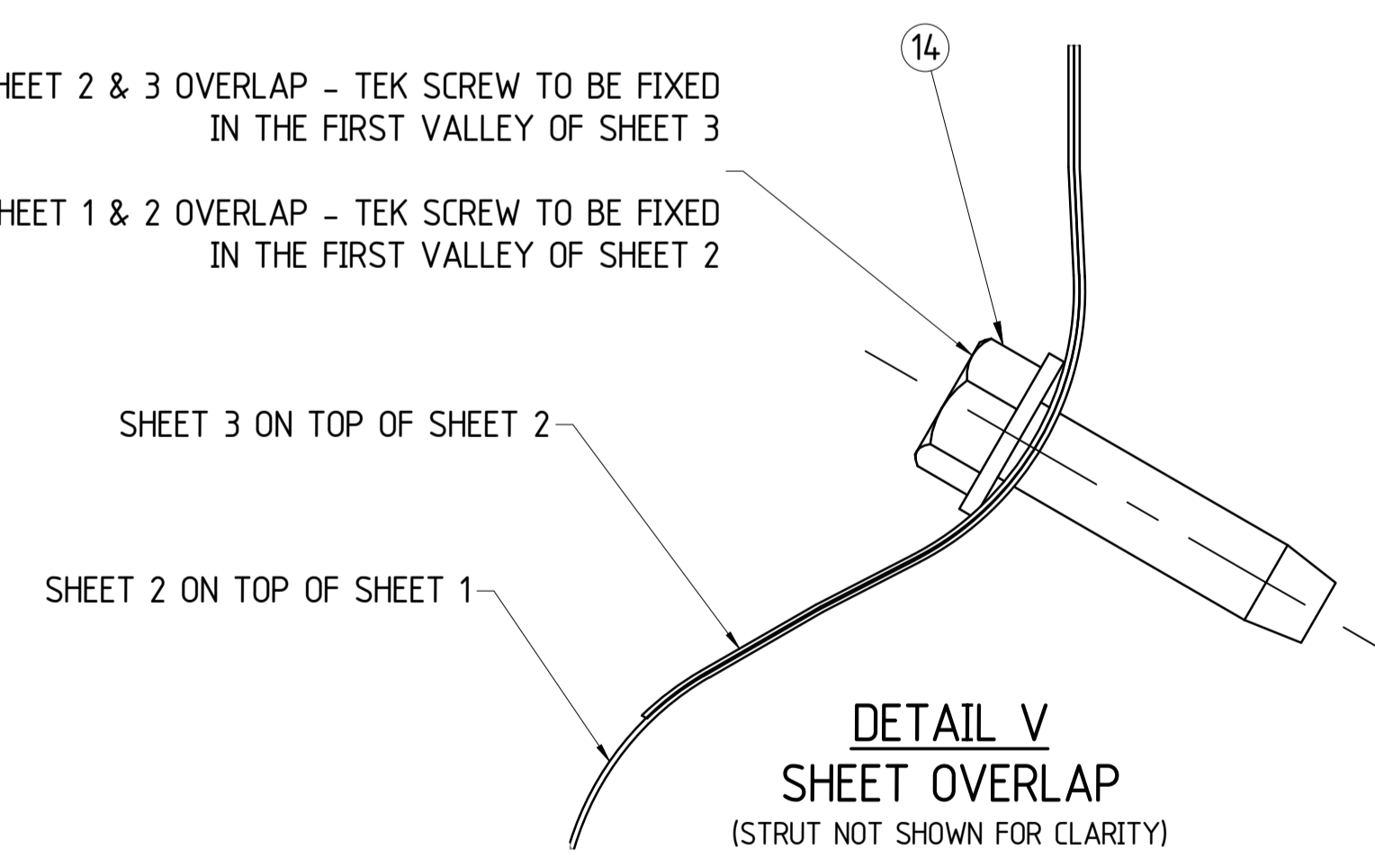


- IMPORTANT NOTE:**
TYPICAL ALL JOINTS, EXCEPT DOOR/GATE JOINTS:
- 'Z' CAPPING SHALL BUTT JOIN TO THE CENTRE LINE OF THE STRUT.
 - ALL Z CAPPING MUST BE ALIGNED AS ACCURATELY AS POSSIBLE. ANY MIS-ALIGNMENT IN THE 'Z' CAPPING WILL CREATE SHARP EDGES, WHICH MAY DAMAGE THE OBH TARP. MAXIMUM 'Z' CAPPING MISALIGNMENT TO BE 2mm IN ALL DIRECTIONS.
 - WHERE 'Z' CAPPING BUTT JOINS OVER A STRUT, FIX 'Z' CAP WITH 2 x TEK SCREWS, ONE IN EACH 'Z' CAP (SHOWN BELOW)
 - WHERE 'Z' CAPPING PASSES OVER A STRUT, FIX 'Z' CAP WITH 1 x TEK SCREW, INLINE WITH THE CENTRE OF THE STRUT.



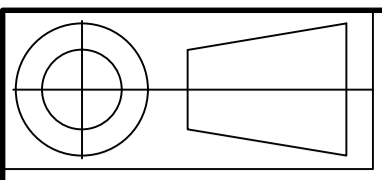
VIEW-AM
(CLADDING NOT SHOWN FOR CLARITY)

- SHEET 2 & 3 OVERLAP - TEK SCREW TO BE FIXED IN THE FIRST VALLEY OF SHEET 3
- SHEET 1 & 2 OVERLAP - TEK SCREW TO BE FIXED IN THE FIRST VALLEY OF SHEET 2



DETAIL V
SHEET OVERLAP
(STRUT NOT SHOWN FOR CLARITY)

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		DO NOT SCALE FROM THIS DRAWING	REF DRG No.	REFERENCE DRAWING TITLE	REV DATE	REVISIONS	BY CHK APP REV DATE	REVISIONS	BY CHK APP APPROVED NH 11/06/2020	PROJECT STANDARD	DRAWING No S119-ENG-ST-DGA-0003	SHEET 4 OF 9		REV. 0	

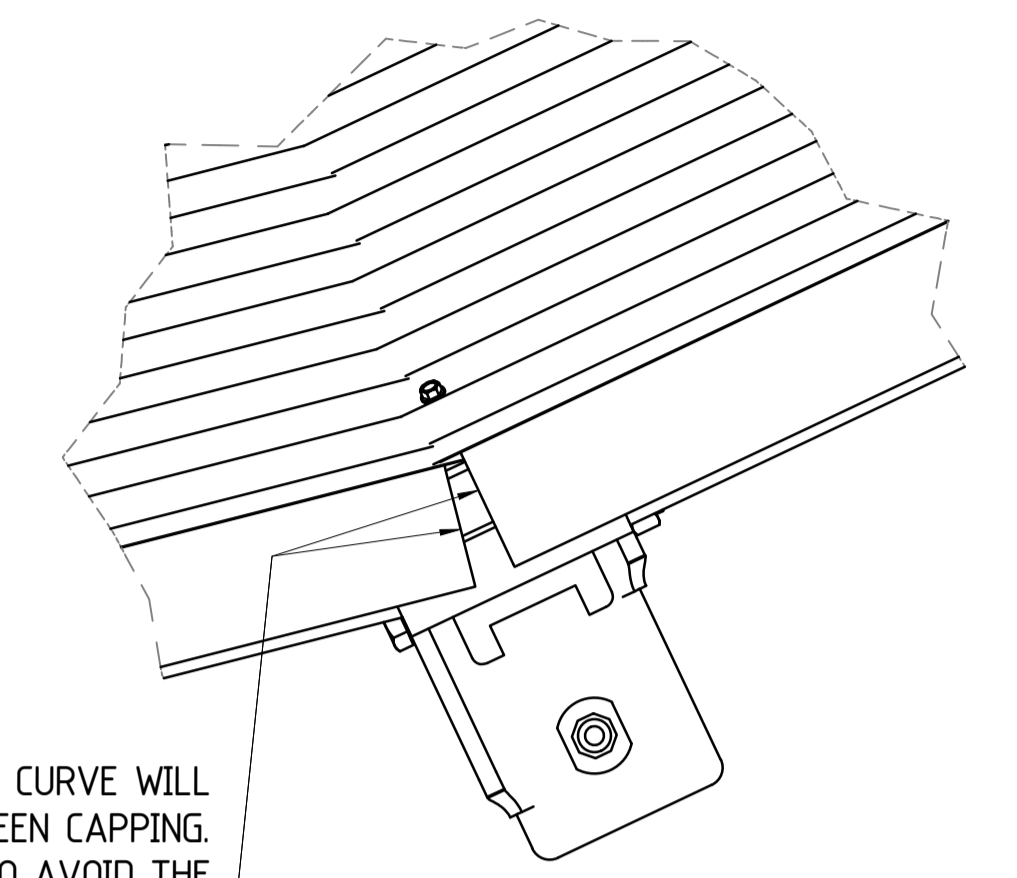
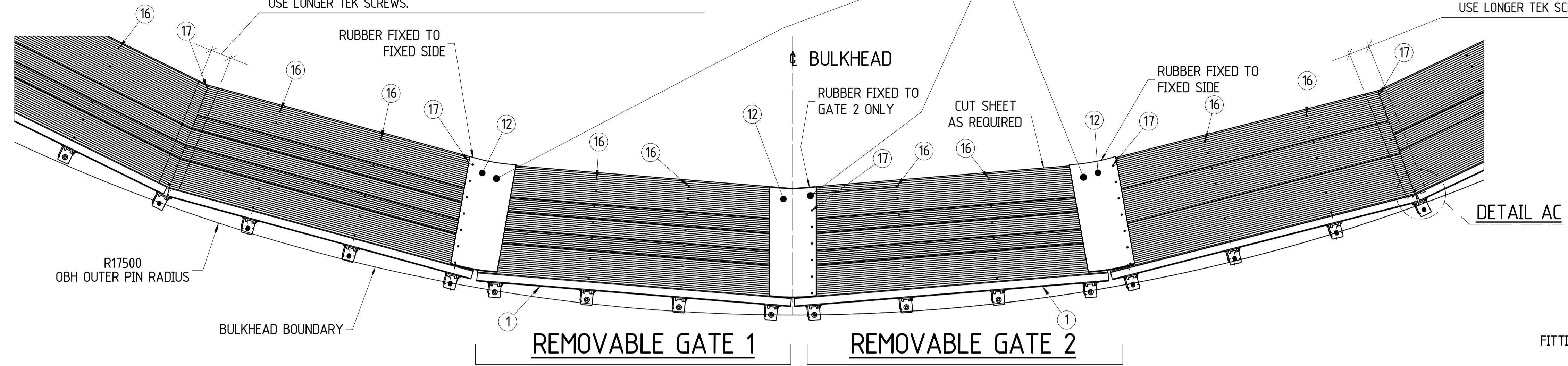


- 200 CLADDING OVERLAP, CENTERED OVER THE CENTRELINE OF THE STRUT
TYPICAL ALL CLADDING, EXCEPT OBH GATE/DOOR JOINS
- ON CURVED ENDS, WHERE CLADDING OVERLAPS,
USE LONGER TEK SCREWS.

TYPICAL RUBBER FIXINGS, BOTH ENDS

- ATTACH CONVEYOR BELT OVER JOINTS (SEE BOM FOR BELT DETAILS)
- FIX RUBBER USING 45MM LONG TEK SCREWS,
USING 7 TEK SCREWS PER RUBBER STRIP

- 200 CLADDING OVERLAP, CENTERED OVER THE CENTRELINE OF THE STRUT
TYPICAL ALL CLADDING, EXCEPT OBH GATE/DOOR JOINS
- ON CURVED ENDS, WHERE CLADDING OVERLAPS,
USE LONGER TEK SCREWS.



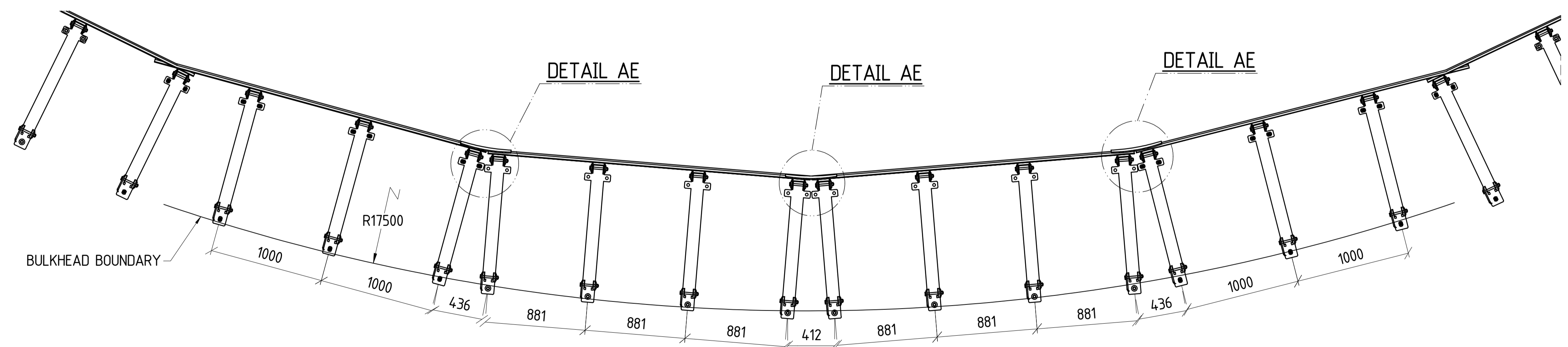
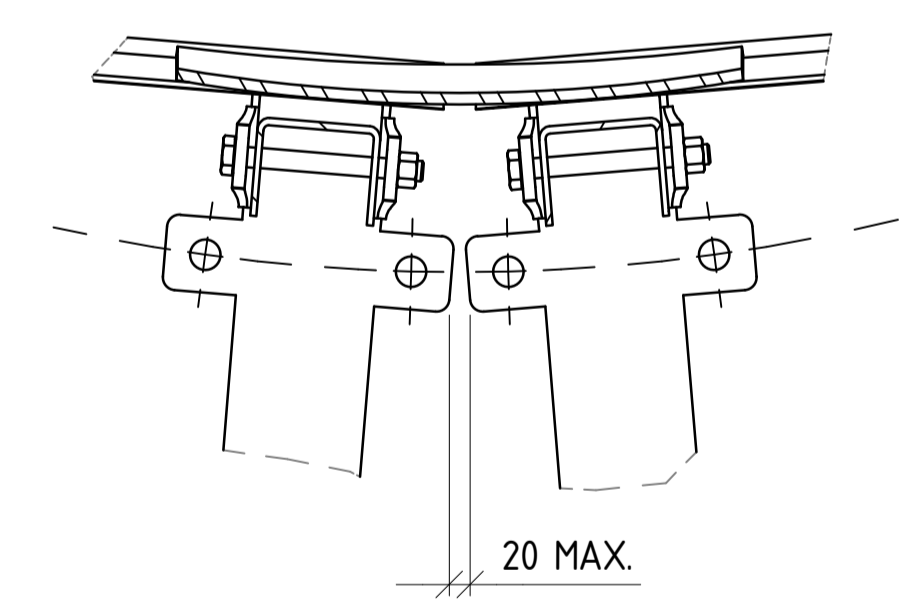
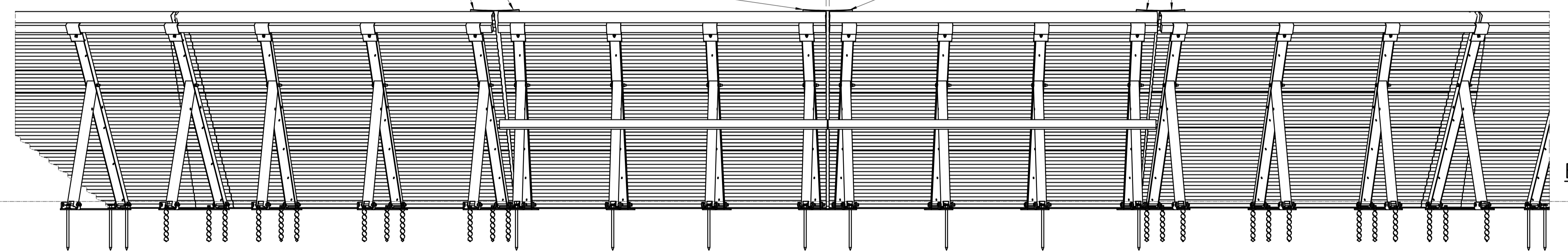
FITTING THE Z-CAPPING TO A CURVE WILL
CREATE A GAP BETWEEN CAPPING.
MINIMISE GAP AS MUCH AS POSSIBLE TO AVOID THE
SHARP EDGES RIPPING THE OBH TARP.
VERTICAL AND HORIZONTAL MISALIGNMENT
SHOULD BE A MAXIMUM OF 2MM.

CLADDING, Z-CAPPING AND WOOD, ALL TRIMMED
TO SUIT ON BOTH SIDES TO CREATE A BUTT JOIN
BETWEEN THE FIXED WALL AND THE REMOVABLE GATE.
REFER S119-ENG-ST-ASY-0003 FOR CLADDING TRIMMING DETAIL.
MAX ALLOWABLE GAP BETWEEN BUTT
JOINTS IS 20mm - TYPICAL ALL GATES

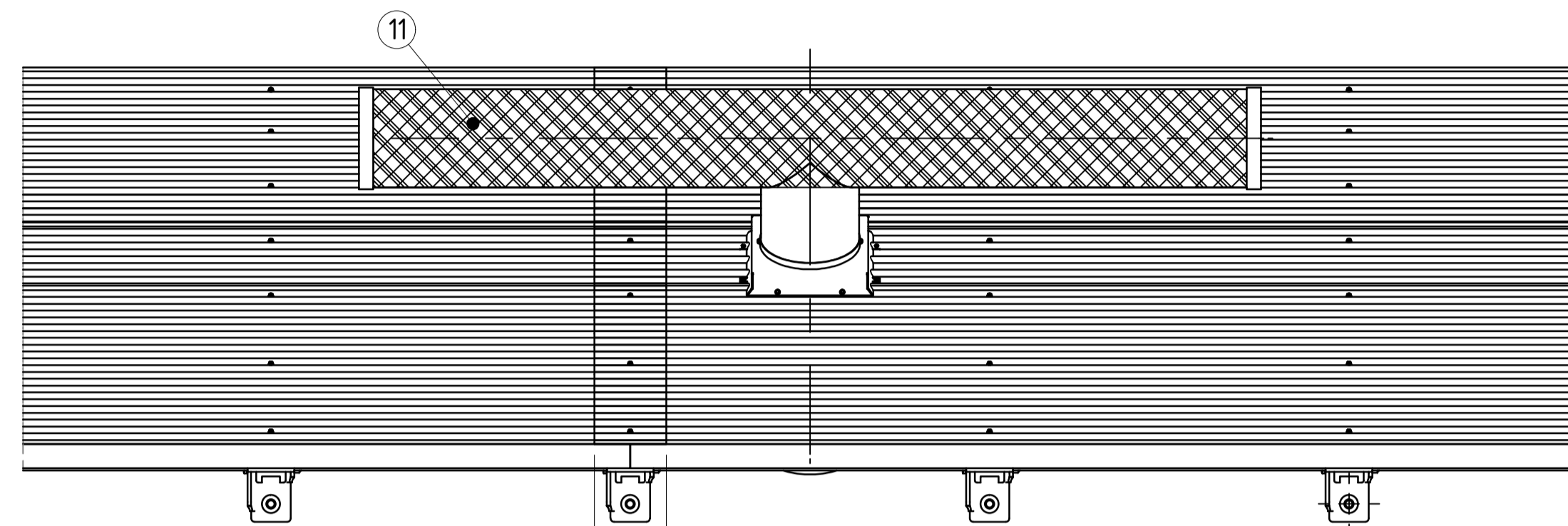
DETAIL A
FRONT END LOADER ACCESS GATES IN CURVED WALL
TYPICAL BOTH ENDS

CLADDING, Z-CAPPING AND WOOD, ALL TRIMMED
TO SUIT ON BOTH SIDES TO CREATE A BUTT JOIN
BETWEEN THE FIXED WALL AND THE REMOVABLE GATE.
REFER S119-ENG-ST-ASY-0003 FOR CLADDING TRIMMING DETAIL.
MAX ALLOWABLE GAP BETWEEN BUTT
JOINTS IS 20mm - TYPICAL ALL GATES

20 MAX. GAP
TYPICAL ALL ACCESS WAYS

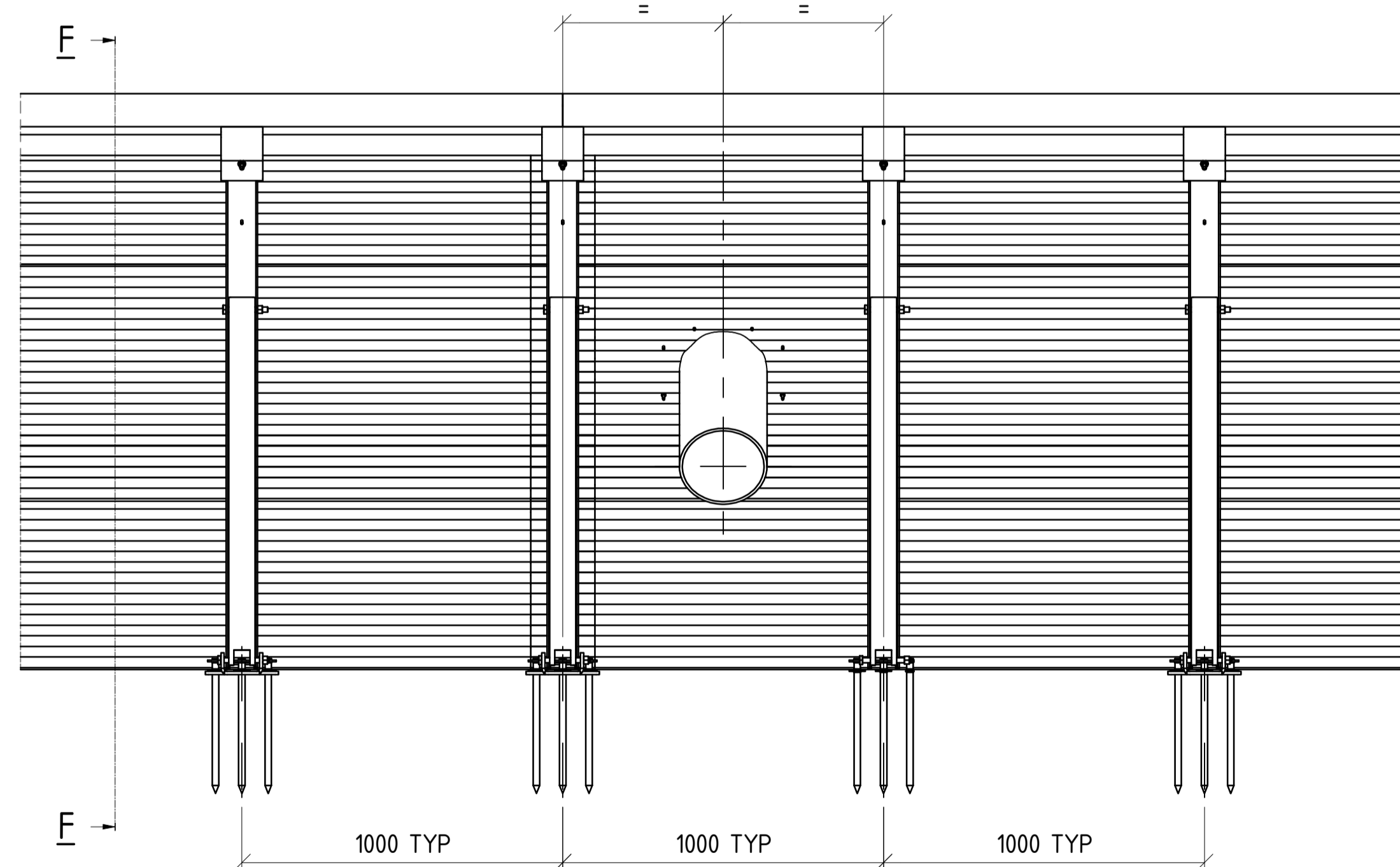


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		DO NOT SCALE FROM THIS DRAWING	REF DRG No.	REFERENCE DRAWING TITLE	REV DATE	REVISIONS	BY CHK APP REV DATE	REVISIONS	BY CHK APP APPROVED NH 11/06/2020	PROJECT STANDARD	DRAWING No S119-ENG-ST-DGA-0003	SHEET 6 OF 9		REV. 0	

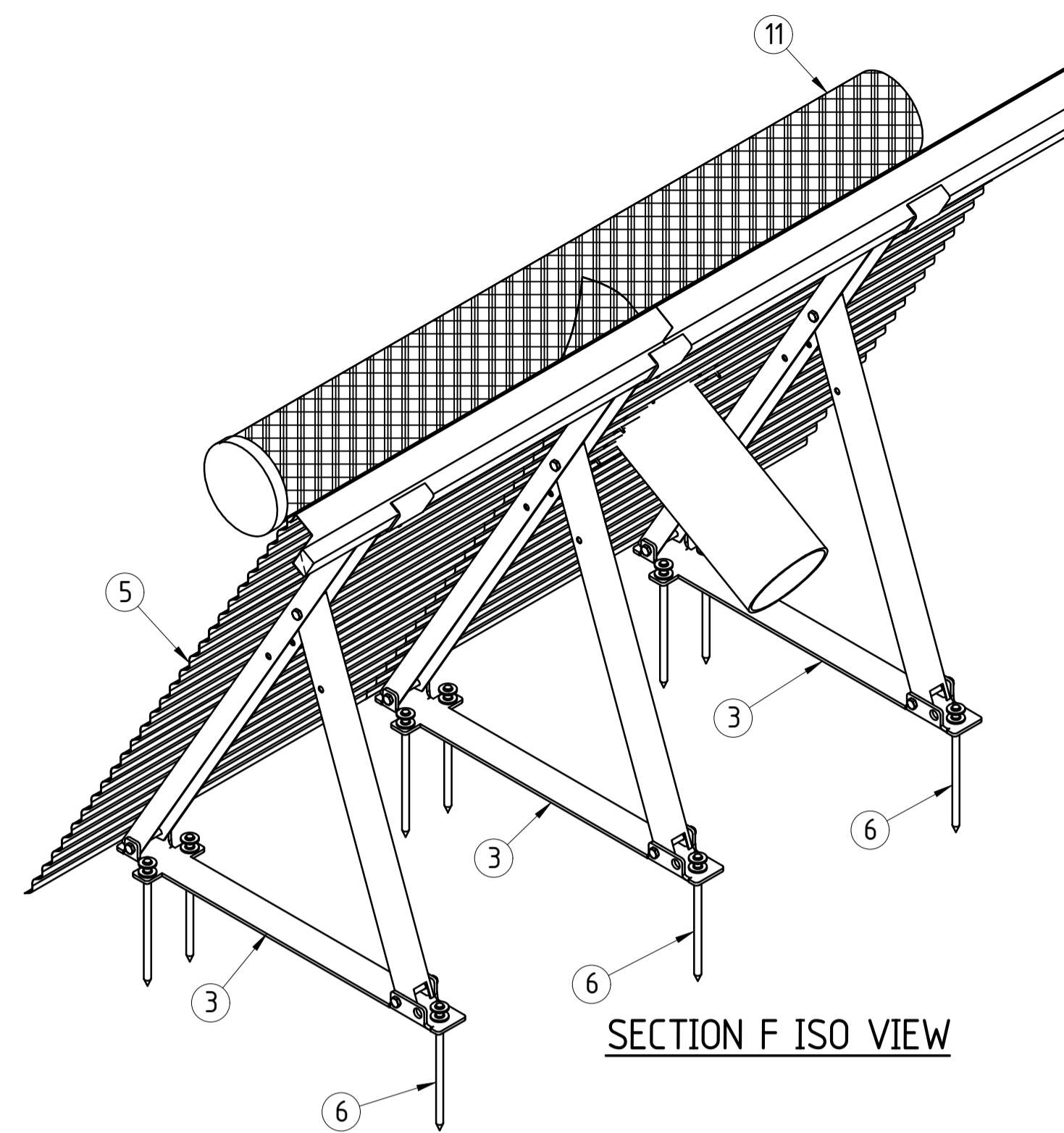


200 CLADDING OVERLAP, CENTERED OVER THE CENTRELINE OF THE STRUT
TYPICAL ALL CLADDING, EXCEPT OBH GATE/DOOR JOINS

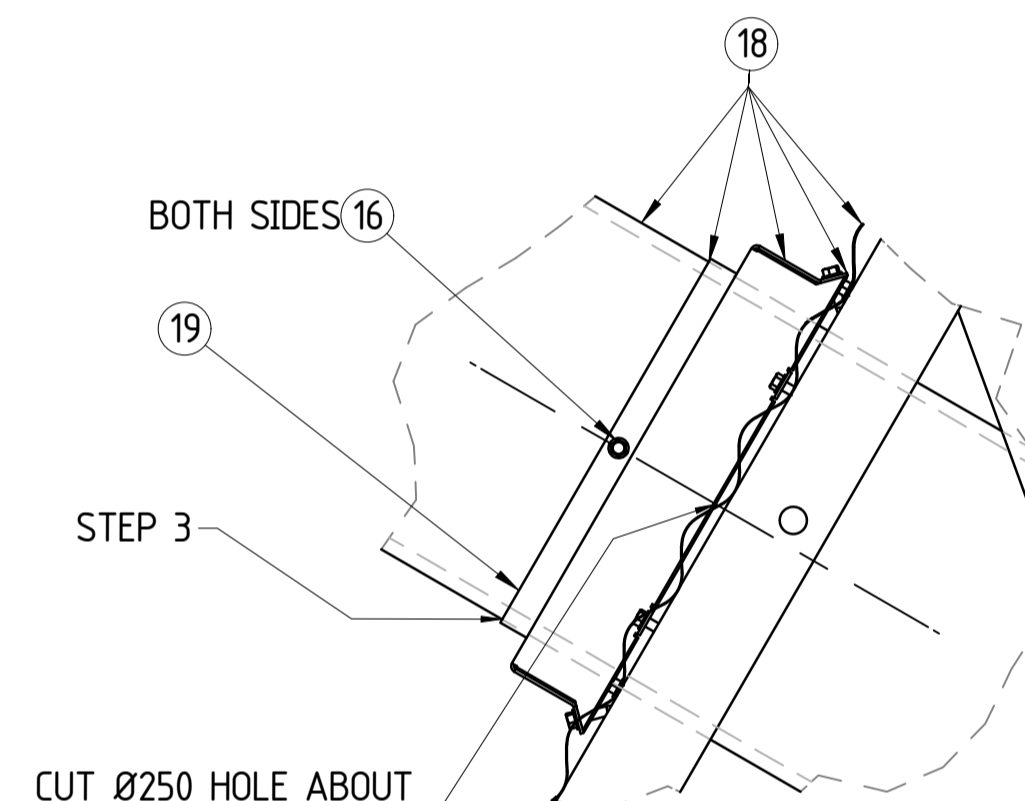
DETAIL B
'T' PIECE INSTALLATION DETAIL



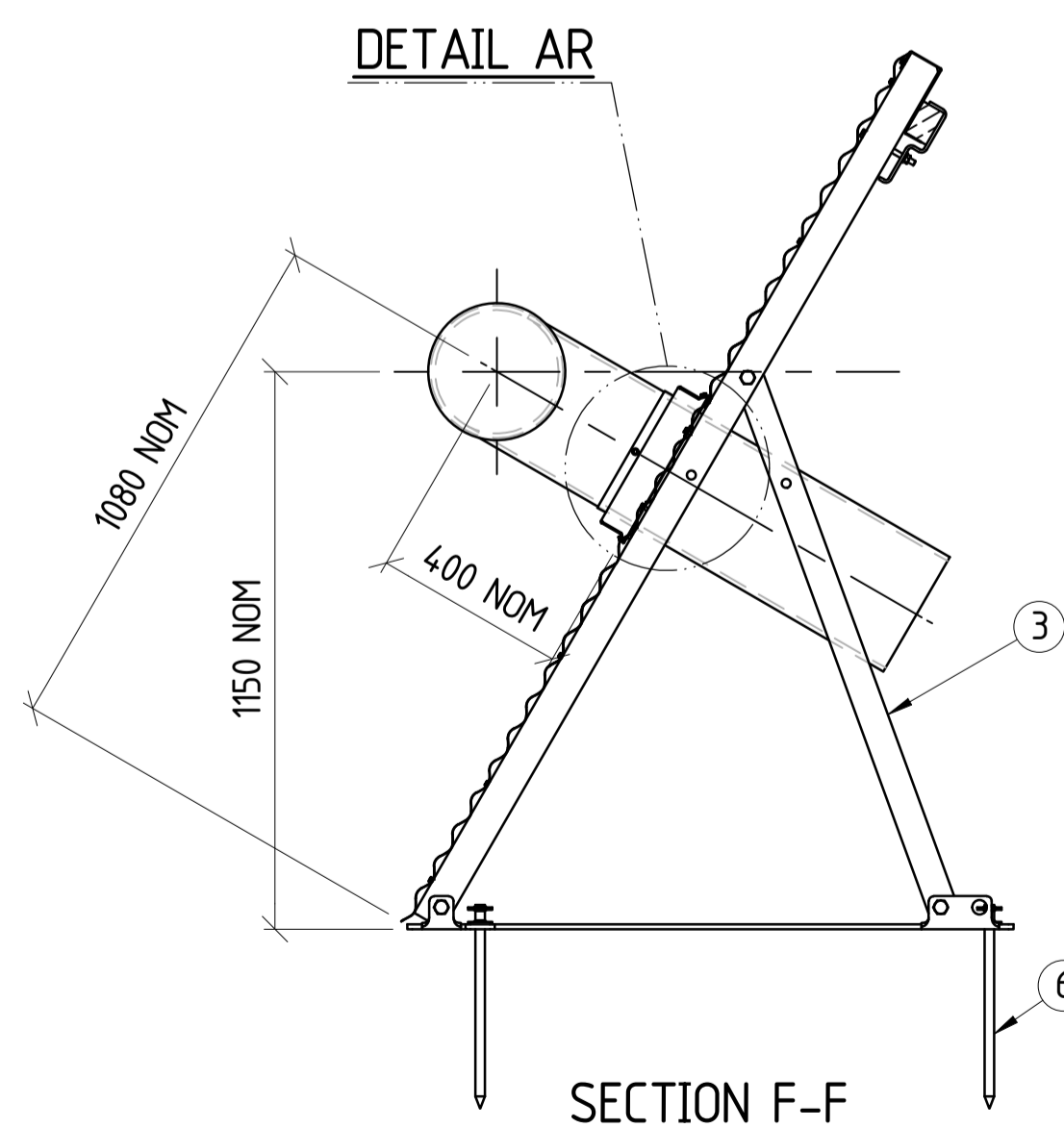
ELEVATION



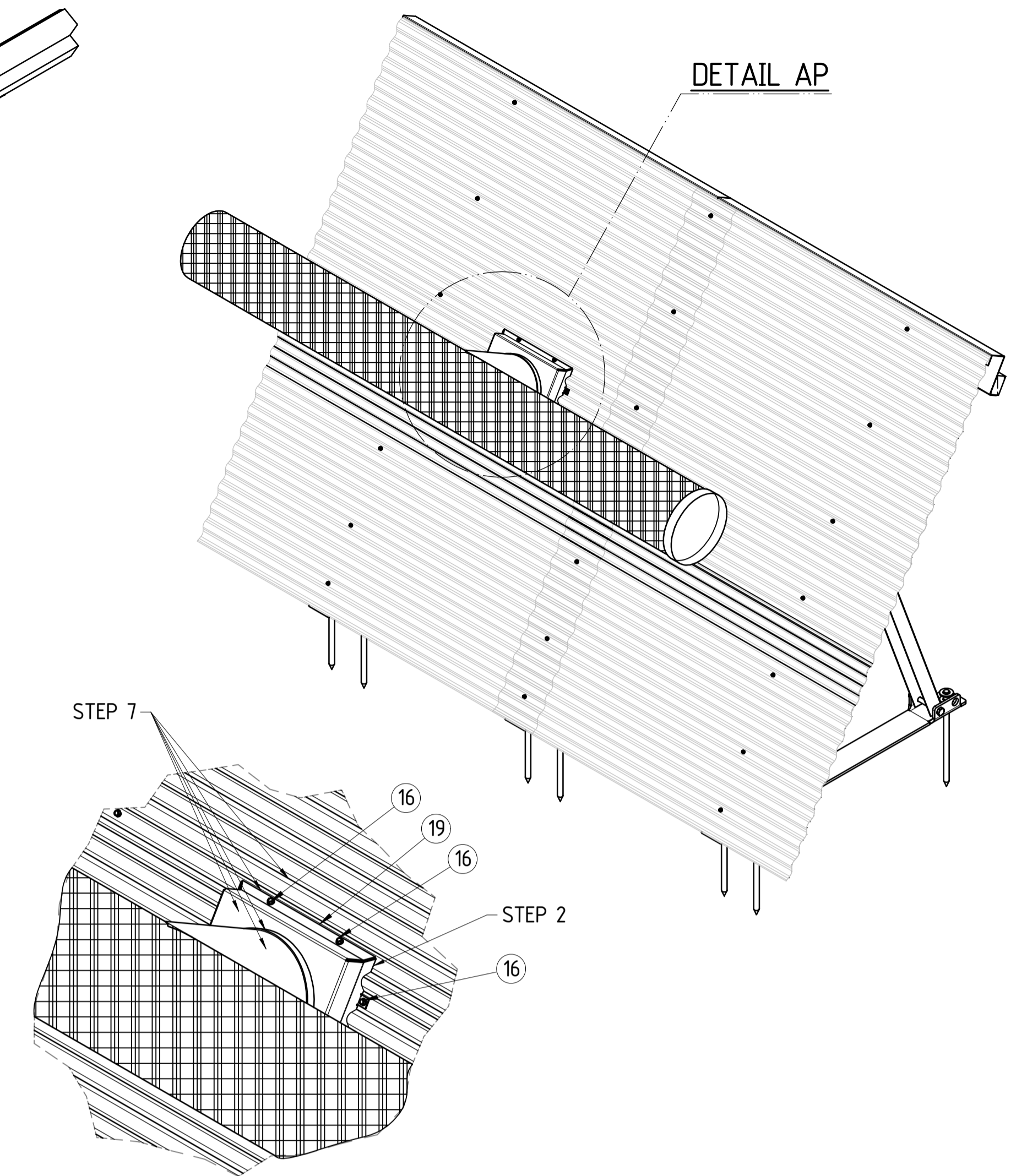
SECTION F ISO VIEW



DETAIL AR



SECTION F-F



DETAIL AP

BACKGROUND:

- THE 'T' PIECE IS USED TO PUMP HAZARDOUS FUMIGANT INTO THE STORAGE AFTER IT IS FULLY SEALED. CARE MUST BE TAKEN WHEN INSTALLING THE 'T' PIECE AND APPLYING THE SEALANTS TO ENSURE THE SEAL IS APPLIED TO A HIGH QUALITY.

USE THE FOLLOWING QUANTITY'S PER 1 'T'PIECE

- 1 X 600ML SAUSAGE OF BOSTIK SEAL AND FLEX 1
- 1L OF NOVALAST LTM 151

PROCEDURE:

- STEP 1: PREPARE AND CLEAN SURFACES WHERE SEALANTS ARE TO BE APPLIED AS PER MANUFACTURERS SPECIFICATIONS.
- STEP 2: INITIAL COLLAR INSTALL; APPLY A THICK (5-10MM) BEAD OF 'BOSTIK SEAL N FLEX 1' TO ALL EDGES OF THE T-PIECE MOUNTING COLLAR WHICH WILL CONTACT THE CORRUGATED CLADDING. TEK SCREW T-PIECE MOUNT (WITH BOSTIK SEALANT APPLIED) TO THE CLADDING USING 8 TEK SCREWS, EVENLY SPACED AROUND THE T-PIECE MOUNTING COLLAR.
- STEP 3: INSERT T-PIECE INTO THE T-PIECE MOUNTING COLLAR. SECURE THE T-PIECE AT THE LOCATION SHOWN, USING 2 X TEK SCREWS, THROUGH THE MOUNTING COLLAR RING. APPLY A THICK (5-10MM) BEAD OF 'BOSTIK SEAL N FLEX 1' AROUND THE JOIN AND AROUND ANY GAPS, INCLUDING AROUND THE TEK SCREWS. ALSO APPLY A THICK BEAD TO FILL THE GAP BETWEEN THE CLADDING AND THE T-PIECE, ON THE OUTSIDE OF THE BULKHEAD.
- STEP 4: LET SEALANT DRY AS PER MANUFACTURER'S DIRECTIONS.
- STEP 5: APPLY A SECOND THICK (5-10MM) BEAD OF 'BOSTIK SEAL N FLEX 1' AROUND ALL JOINS BETWEEN THE T-PIECE MOUNTING COLLAR, THE T-PIECE AND THE CLADDING.
- STEP 6: LET SEALANT DRY AS PER MANUFACTURER'S DIRECTIONS.
- STEP 7: PAINT THE ENTIRE T-PIECE MOUNTING COLLAR AND 150MM OF CLADDING AROUND THE COLLAR. ALSO PAINT 150MM OF THE T-PIECE, PAST THE COLLAR RING JOIN. PAINT WITH 'NOVALAST 151 LTM'
- STEP 8: LET SEALANT DRY AS PER MANUFACTURER'S DIRECTIONS.

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LEVEL 6, 240 ST GEORGES TERRACE,
PERTH W.A 6000
PH (08) 9237 9600 FAX (08) 9322 3942

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APPROVED

NH

11/06/2020

DRAWN SCR 10/06/2020
CHECKED LS 10/06/2020
ENGINEER BC 11/06/2020

DRAWING TITLE
1.8m OPEN BULK HEAD
GENERAL ARRANGEMENT
'T' PIECE DETAIL

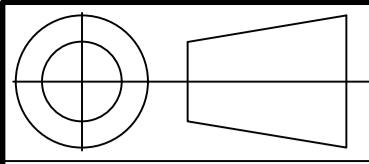
SITE
VARIOUS
PROJECT
STANDARD

DRAWING No
S119-ENG-ST-DGA-0003

SHEET
7 OF 9

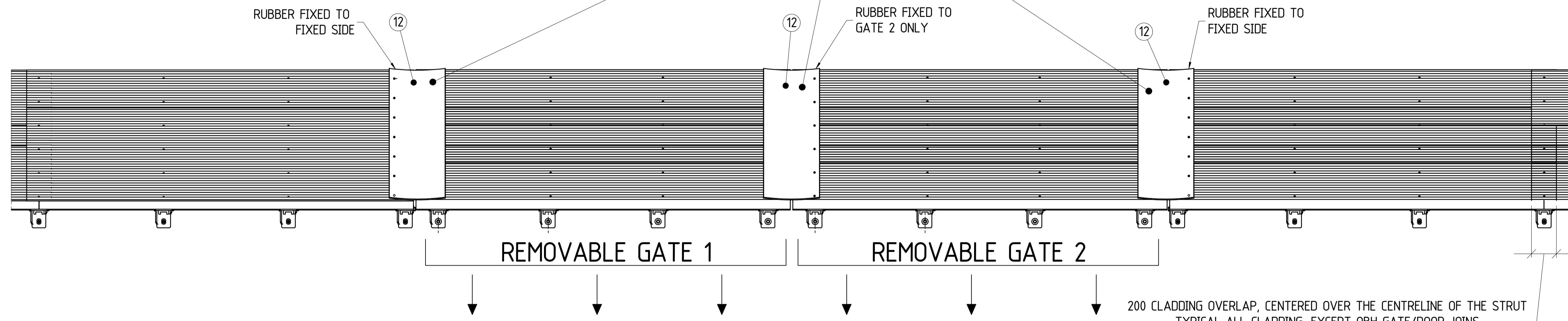
SIZE
A1

REV.



TYPICAL RUBBER FIXINGS, BOTH ENDS

- ATTACH CONVEYOR BELT OVER JOINTS (SEE BOM FOR BELT DETAILS)
- FIX RUBBER USING 45MM LONG TEK SCREWS, USING 7 TEK SCREWS PER RUBBER STRIP

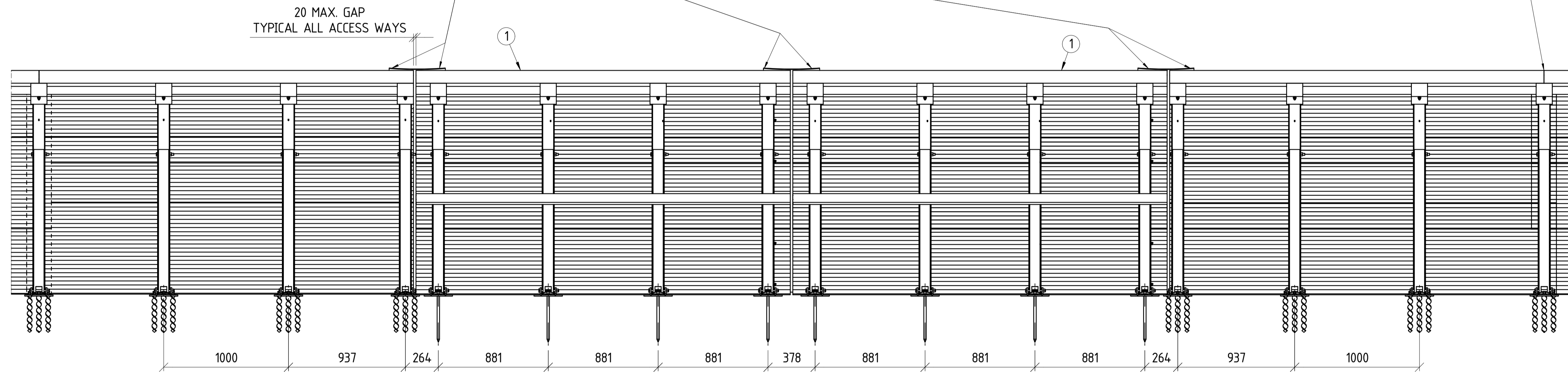


**DETAIL C
FRONT END LOADER ACCESS GATES IN STRAIGHT WALL
TYPICAL BOTH SIDES**

CLADDING, Z-CAPPING AND WOOD, ALL TRIMMED TO SUIT ON BOTH SIDES TO CREATE A BUTT JOIN BETWEEN THE FIXED WALL AND THE REMOVABLE GATE. REFER S119-END-ST-ASY-0003 FOR CLADDING TRIMMING DETAIL. MAX ALLOWABLE GAP BETWEEN BUTT JOINTS IS 20MM - TYPICAL ALL GATES

Z-CAPPING MUST BE NEATLY BUTT JOINED AND ALIGNED IN ALL DIRECTIONS TO ENSURE THAT THERE ARE NO SHARP EDGES WHICH COULD PUNCTURE THE OBH TARP. MAX MISALIGNMENT OF 2MM IN ALL DIRECTIONS. TYPICAL ALL JOINTS EXCEPT AT OBH DOOR/GATE JOINTS.

20 MAX. GAP
TYPICAL ALL ACCESS WAYS



ELEVATION

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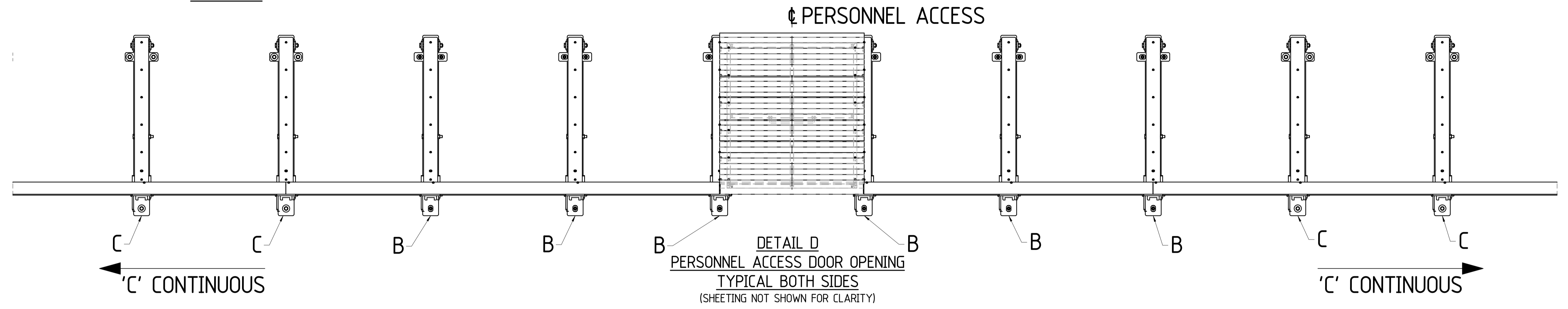
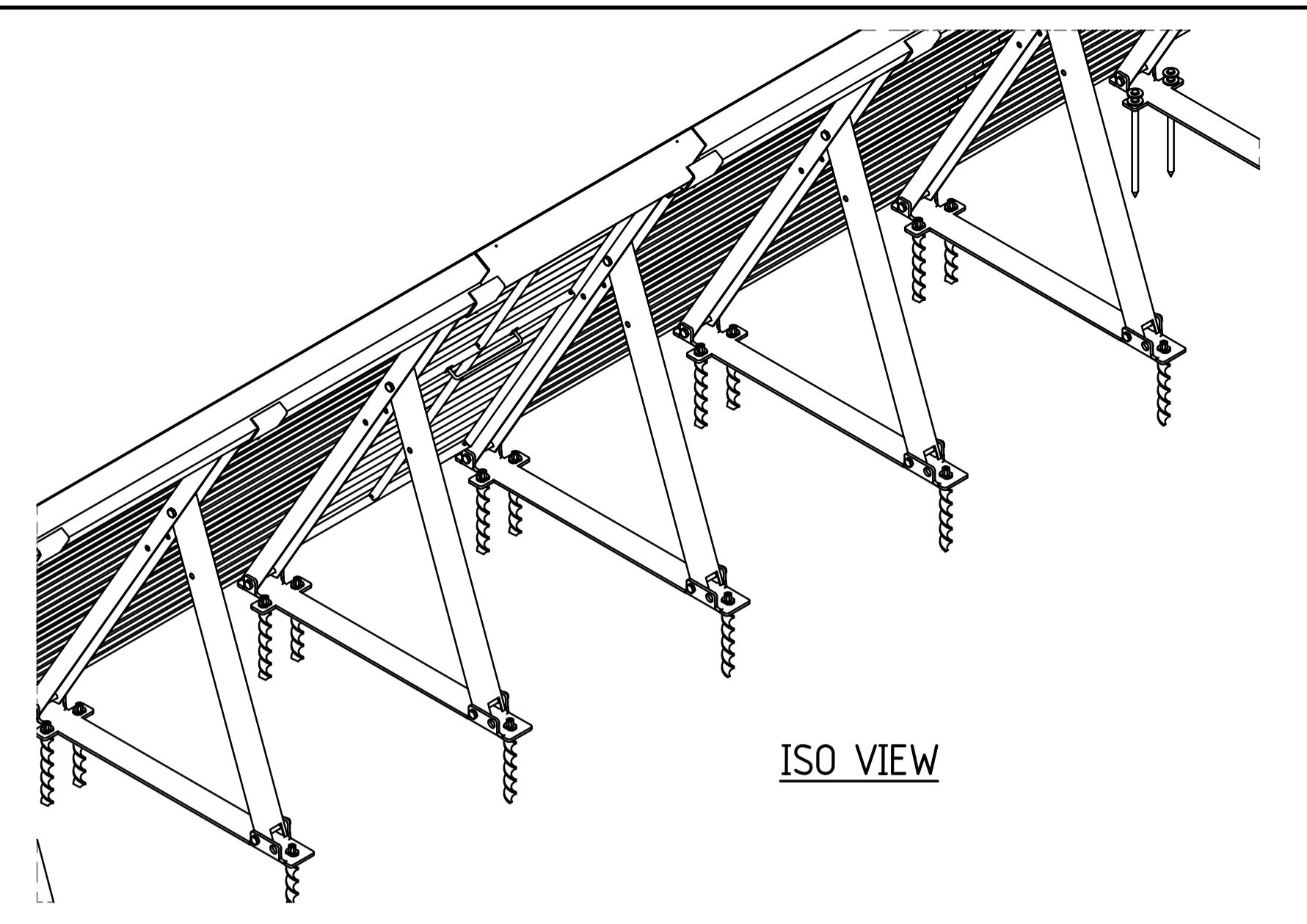
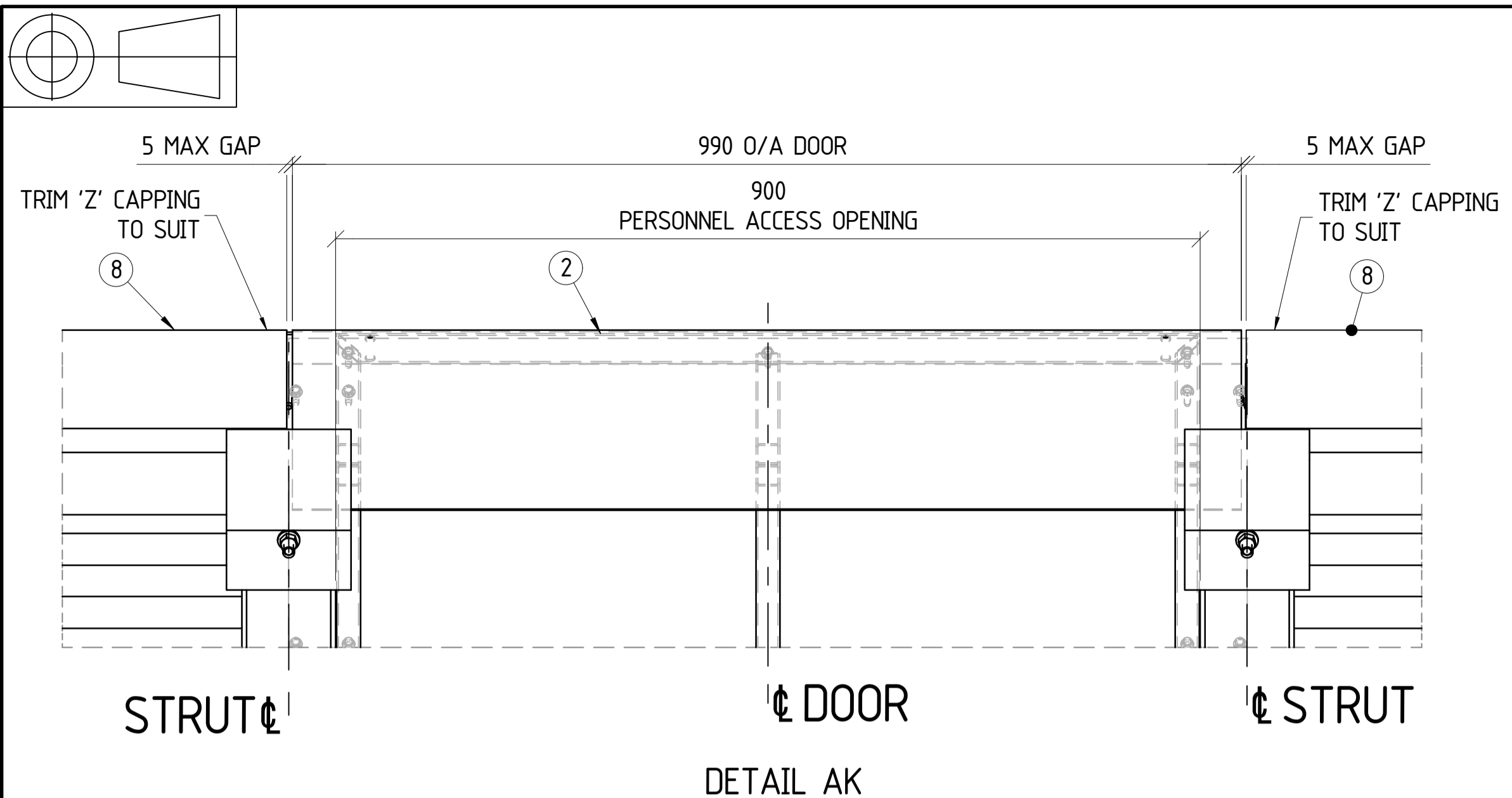
REF DRG No.	REFERENCE DRAWING TITLE	REV	DATE	REVISIONS	BY	CHK	APP	REV	DATE	REVISIONS	BY	CHK	APP	APPROVED
		0	10/06/2020	COPIED FROM S-119, ISSUED FOR CONSTRUCTION	SCR	LS	NH							

DRAWN	SCR	10/06/2020
CHECKED	LS	10/06/2020
ENGINEER	BC	11/06/2020
APPROVED	NH	11/06/2020

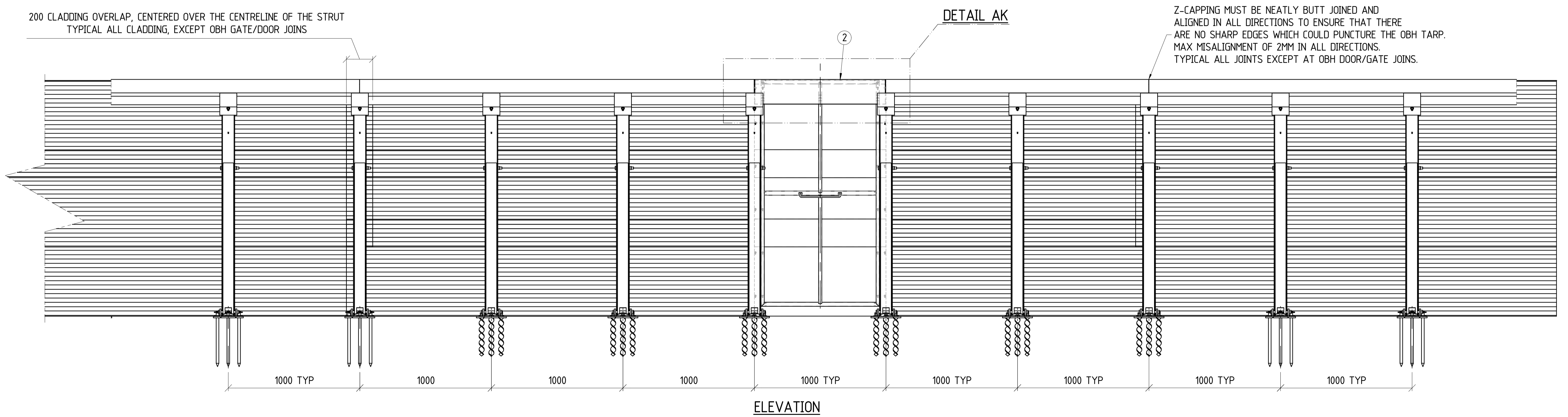
DRAWING TITLE
**1.8m OPEN BULK HEAD
GENERAL ARRANGEMENT
STRAIGHT OBH OPENING DETAIL**

SITE	VARIOUS	SIZE	A1
PROJECT	STANDARD		
DRAWING No	S119-ENG-ST-DGA-0003	SHEET	8 OF 9
REV.			0

DO NOT SCALE FROM THIS DRAWING



200 CLADDING OVERLAP, CENTERED OVER THE CENTRELINE OF THE STRUT
TYPICAL ALL CLADDING, EXCEPT OBH GATE/DOOR JOINS



Z-CAPPING MUST BE NEATLY BUTT JOINED AND ALIGNED IN ALL DIRECTIONS TO ENSURE THAT THERE ARE NO SHARP EDGES WHICH COULD PUNCTURE THE OBH TARP. MAX MISALIGNMENT OF 2MM IN ALL DIRECTIONS. TYPICAL ALL JOINTS EXCEPT AT OBH DOOR/GATE JOINS.

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		DO NOT SCALE FROM THIS DRAWING										CHECKED LS 10/06/2020	PROJECT STANDARD	DRAWING No S119-ENG-ST-DGA-0003	SHEET 9 OF 9	REV. 0		
		REF DRG No.	REFERENCE DRAWING TITLE	REV	DATE	REVISIONS	BY	CHK	APP	REV	DATE	REVISIONS	BY	CHK	APP	APPROVED NH 11/06/2020	PROJECT STANDARD	DRAWING No S119-ENG-ST-DGA-0003



10. ELECTED MEMBERS MOTION OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

Nil

11. NEW BUSINESS OF AN URGENT NATURE AGREED TO BY RESOLUTION OF COUNCIL

12. MATTERS BEHIND CLOSED DOORS

The meeting be closed to the public in accordance with section 5.23 Local Government Act 1995, 5.5.23(2))

- Matters affecting employee(s)
- Personal affairs of any person(s), including financial and/or commercial contracts
- Commercial Confidentiality
- Legal advice/matters
- Public safety/security matters where public knowledge may be prejudicial.



13. INFORMATION BULLETIN

13.1 INWARDS CORRESPONDENCE LISTING
Tahnee Bird – Community Development Officer

Date Received	From	Description	File Number	Distribution
05/08/2022	WALGA	Local Government News Issue 30	4.13	Email 05/08/2022
05/08/2022	WALGA	LGA50220 Diploma of Local Government – Elected Member Scholarships	4.1	Email 05/08/2022
12/08/2022	WALGA	Local Government News Issue 31	4.13	Email 12/08/2022
30/08/2022	WALGA	Crime Stats June 2022	4.13	Email 30/08/2022



13.2 ACTION LIST
 Peter Bentley

Item No	Action required	Status		Comments
		In prog	complete	
32	<ul style="list-style-type: none"> Give Mr Reiger a further 60 days to comply with the Demolition Order; and If not completed within this timeframe, then Council will carry out the demolition of the house that has been subject to previous orders of Council, in accordance to <i>Section 140 of the Health (Miscellaneous Provisions) Act 1911</i> and recover the cost from the owners. 	✓		
34	<ul style="list-style-type: none"> Give Mr Reiger a further 60 days to comply with the Clean Up Order; and If not completed within this timeframe, then Council will carry out the Clean-up of Lot 239 that has been subject to previous orders of Council, in accordance to <i>Section 140 of the Health (Miscellaneous Provisions) Act 1911</i> and recover the cost from the owners. 	✓		

13.3 CEO'S REPORT
 Peter Bentley

To be presented verbally



13.4 WORKS MANAGER'S REPORT
 David Long

WORKS CREW REPORT – AUGUST 2022

DATE	WORK DESCRIPTION
1	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konnongorring Hall Toilets-clean /Wet Weather - Unsealed road network inspect, clear culverts where required. Tree pruning of overhanging vegetation/Sealed road network - inspect for pavement failures and potholes.
2	Wet Weather - Unsealed road network inspect, clear culverts where required. Tree pruning of overhanging vegetation/Sealed road network - inspect for pavement failures and potholes.
3	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konnongorring Hall Toilets-clean /Wet Weather - Unsealed road network inspect, clear culverts where required. Removal of fallen trees and limbs. Tree pruning of overhanging vegetation.
4	Wet Weather - Unsealed road network inspect, clear culverts where required. Removal of fallen trees and limbs. Tree pruning of overhanging vegetation/Refuse site - Construct bund wall for household refuse area, level and cover building rubble/Town site - remove fallen limbs and trees after storm event/Unsealed road network - inspect, repair signage and guideposts where required- prune vegetation blocking signs, prune overhanging vegetation on verges.
5	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konnongorring Hall Toilets-clean /Wet Weather - Unsealed road network inspect, clear culverts where required. Removal of fallen trees and limbs. Tree pruning of overhanging vegetation/Refuse site - Construct bund wall for household refuse area, level and cover building rubble/Unsealed road network - inspect, repair signage and guideposts where required- prune vegetation blocking signs, prune overhanging vegetation on verges.
6/7	WEEKEND
7	WEEKEND
8	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konnongorring Hall Toilets-clean .
9	Refuse site - Construct bund wall for household refuse area, level and cover building rubble/Unsealed road network - inspect, repair signage and guideposts where required- prune vegetation blocking signs, prune overhanging vegetation on verges.
10	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konnongorring Hall Toilets-clean /Refuse site - Construct bund wall for household refuse area, level and cover building rubble/Unsealed road network - inspect, repair signage and guideposts where required- prune vegetation blocking signs, prune overhanging vegetation on verges/Town site - Various works request deliveries.
11	Robert - Patch potholes/York Gum Way - Patch potholes/Refuse site - Construct bund wall for household refuse area, level and cover building rubble/Slaters Homestead - remove fallen limbs/Meckering rd. - Patch holes in bitumen with cold mix/Unsealed road network - inspect, repair signage and guideposts where required- prune vegetation blocking signs, prune overhanging vegetation on verges/George st - patch potholes.
12	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konnongorring Hall Toilets-clean /York Gum Way - Patch potholes/Bolgart East Rd - grade off clay areas/Calingiri Rd- Cart crushed rock for replacement culvert works/Refuse site - Construct bund wall for household refuse area/Town site - Various works request deliveries/Quinlan St - patch holes in bitumen with cold mix.
13	WEEKEND
14	WEEKEND
15	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konnongorring Hall Toilets-

SHIRE OF GOOMALLING

AGENDA FOR ORDINARY MEETING OF COUNCIL
WEDNESDAY 21 SEPTEMBER 2022



	clean /Konngorring West rd. - Unsealed shoulder grading and reformation on bitumen section/Refuse site - Construct bund wall for household refuse area/Unsealed road network - inspect, repair signage and guideposts where required- prune vegetation blocking signs, prune overhanging vegetation on verges
16	Wet Weather - Unsealed road network inspect, clear culverts where required. Removal of fallen trees and limbs. Tree pruning of overhanging vegetation/Eaton st - Prune vegetation in preparation for bitumen works/Meckering rd. - path bitumen potholes with cold mix.
17	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konngorring Hall Toilets-clean /Wet Weather - Unsealed road network inspect, clear culverts where required. Removal of fallen trees and limbs. Tree pruning of overhanging vegetation.
18	Wet Weather - Unsealed road network inspect, clear culverts where required. Removal of fallen trees and limbs. Tree pruning of overhanging vegetation.
19	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konngorring Hall Toilets-clean /Robert rd. - Repair washouts/Long Forrest rd. - repair wash outs/Beecroft rd. - repair washouts/Konngorring West - Patch potholes in bitumen with cold mix/Unsealed road network - Install signs on washouts, clear fallen trees and limbs.
20/21	WEEKEND
22	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konngorring Hall Toilets-clean .
23	Dowerin-Konngorring rd. - Unsealed shoulder grading and reformation on bitumen section//Refuse site - Construct bund wall for household refuse area/Calingiri rd. -Patching holes in bitumen with cold mix/Bolgart East rd. - Patching holes in bitumen with cold mix/Railway Tce - repair sunken paving/High st - repair bitumen edge breaks with cold mix.
24	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konngorring Hall Toilets-clean /Dowerin-Konngorring rd. - Unsealed shoulder grading and reformation on bitumen section/Long Forrest rd. - repair wash outs/Jennacubbine Hall - Clean and restock for hire event/Carter rd. - Inspect and repair, replace sign and guideposts where required.
25	Oak Park rd. - Unsealed shoulder grading and reformation on bitumen section/Clarke rd. - repair wash outs/Oak Park rd. -Patching holes in bitumen with cold mix/Dowerin - Konngorring rd. - Inspect and repair, replace sign and guideposts where required.
26	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konngorring Hall Toilets-clean /Oak Park rd. - Unsealed shoulder grading and reformation on bitumen section/Refuse site - Construct bund wall for household refuse area/Morrell rd. - Inspect and repair, replace sign and guideposts where required.
27/28	WEEKEND
29	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konngorring Hall Toilets-clean /Oak Park rd. - Unsealed shoulder grading and reformation on bitumen section/Refuse site - Construct bund wall for household refuse area/Botherling East rd. - Inspect and repair, replace sign and guideposts where required/Meckering rd. - Mark out buffer zones for Acacia trinalis prior to clearing works commencing.
30	Meckering rd. - Unsealed shoulder grading and reformation on bitumen section/Refuse site - Construction works for future household refuse site dump areas/Calingiri rd. - Clear aggregate stockpile site/Hullongine rd. - Traffic hazards put up on washout/Netball courts - remove dugouts , deliver gazebos and tables for finals.
31	Rubbish run/Refuse site maintenance/Railway Tce public toilets + Konngorring Hall Toilets-clean /Meckering rd. - Unsealed shoulder grading and reformation on bitumen section/Refuse site - Construction works for future household refuse site dump areas/Ucarty rd. - Inspect and repair, replace sign and guideposts where required.



MAINTENANCE GRADING REPORT

SOUTH WEST

SOUTH EAST

ROAD NAME	DATE	ROAD NAME	DATE
ANDERSON	27.7.22	ABBATOIR	10.6.22
BEBAKINE	7.7.22	BERRING	17.12.21
BEECROFT	2.9.22	BERRING E	4.2.22
BOLGART EAST	2.6.22	BOASE	27.7.22
CHITIBIN	27.7.22	BROOKSBANK	29.7.22
CLARKE	13.6.22	DICK ST	10.6.22
CLAY PIT	30.6.22	GEORGE ST	10.6.22
EATON	27.7.22	HAGBOOM STH	22.7.20
GOON GOONING	24.6.22	HAYWOOD ST	10.6.22
HUGHES	5.7.22	HULLOGINE	31.8.22
JENNACUBBINE E	27.7.22	KUNZIA WAY	10.6.22
KROE HUT	1.7.22	MARTINDALE WAY	10.6.22
LAWLER	25.8.22	PATTERSON	29.7.22
LEESON	28.7.22	PEAR TREE DRIVE	9.6.22
LONG FORREST	7.9.22	ROBERT	13.4.22
MC LEAN	5.10.21	SLATER ST	9.6.22
MUGGIN MUGGINS	7.7.22	SADLER	27.1.22
ROSSMORE	4.10.21	SALMON GUM WAY	9.6.22
ROWLES	14.7.22	SHORT ST	10.6.22
SAWYER	26.6.20	SMITH ST	10.6.22
SHEEN	6.7.22	UCARTY	26.7.22
SMITH	2.6.22	YORK GUM WAY	9.6.22
TYNDALL	9.9.22	WATERHOUSE WAY	10.6.22
WONGAMINE	5.7.22	WHITE ST	10.6.22
		WILLIAM ST	9.6.22



NORTH WEST

ROAD NAME	DATE
BURNT HILL	25.3.22
BURABADJI	24.3.22
CACTI	25.2.22
CARTER	17.5.22
COULTHARD	18.3.22
DEW	17.5.22
DONALD	17.3.22
GLATZ	22.3.22
HAYWOOD	21.3.22
JONES	19.5.22
KONNONGORRING W	18.5.22
LORD	23.3.22
MORREL	20.5.22
PINKWERRY	19.5.22
WHITFIELD	24.5.22

NORTH EAST

ROAD NAME	DATE
BERRING	17.2.22
BOTHERLING E	27.6.22
BURABADJI E	15.8.22
BYBERDING	6.5.22
CARTER EAST	17.5.22
COOPER	16.5.22
DEAN	10.5.22
DOWERIN-KONNONGORRING	13.5.22
EGAN	15.2.22
EVANS	14.2.22
FAIRLEE	12.5.22
GABBY QUOI QUOI	11.5.22
GRIFFITH WHALEY	12.5.22
KALGUDDERING W	16.5.22
KING	27.5.21
LAKE	9.2.22
MOUNTJOY	10.5.22
NAMBLING NTH	17.2.22
OAKPARK	28.6.22
PRYOR	9.2.22
SAWYER	14.2.22
SCHELL	17.2.22
SEIGERT	10.5.22
SLATER	15.2.22
SPARK	15.2.22
WHITE	20.5.22
WILLIAMS	17.5.22



13.5 PARKS & GARDENS REPORT
 David Long

PARKS & GARDENS AUGUST 2022

DATE	WORK DESCRIPTION
1	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Apu - edge and mow lawns, garden bed maintenance/Swimming Pool - edge and mow lawns, garden bed maintenance.
2	Town site - Removal of fallen trees and limbs after storm event/Mortlock lodge - mow lawns, garden bed maintenance/GSC surrounds - rake and remove leaves, limbs and debris, weed control.
3	Town site - Remove fallen trees and limbs from storm event/Town site - drainage cleaning and maintenance/Hockey and Football ovals - mow, weed control.
4	Town site - Weed control on verges and vacant blocks/GSC surrounds - rake and remove leaves, limbs and debris, weed control/Caravan Park - weed control.
5	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Town site - Weed control on verges and vacant blocks/Football oval - mow/Pavilion + Gym - edge and mow lawns.
6	WEEKEND
7	WEEKEND
8	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Railway Tce - mow lawns/Hockey oval - mow.
9	Railway Tce - weed control, garden bed maintenance on island beds.
10	Millsteed - mow, garden bed maintenance/Mortlock Lodge - garden bed maintenance/Netball courts - clean and remove, leaves and debris, blow down playing area/Football oval - top dress over sprinklers and bare areas/Hockey oval - mow.
11	Town site - Weed control on verges and vacant blocks/Netball courts - clean and remove, leaves and debris, blow down playing area/Football and Hockey ovals - line mark/GSC oval surrounds - Rake and remove leaves, limbs and debris, mow grass around oval surrounds.
12	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Town site - Weed control on verges and vacant blocks/Football oval Top dress sprinklers and low areas.
13	WEEKEND
14	WEEKEND
15	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Town site - Weed control on verges and vacant blocks/Town site - sweep streets with street sweeper.
16	Swimming Pool - mow, edge lawns, garden bed maintenance/Mortlock Lodge - edge, mow and garden bed maintenance.
17	Caravan Park - Garden bed maintenance/Anstey Park - edge and mow lawn.
18	Town site - Weed control on verges and vacant blocks/Pavilion + Gym - edge, mow lawns, weed control/Football and Hockey ovals - mow, weed control, mower maintenance.
19	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Caravan Park - weed control on lawns and garden beds/GSC oval surrounds - Rake and remove leaves, limbs and debris, mow grass around oval surrounds/Hockey oval - weed control.

SHIRE OF GOOMALLING

AGENDA FOR ORDINARY MEETING OF COUNCIL
WEDNESDAY 21 SEPTEMBER 2022



20	WEEKEND
21	WEEKEND
22	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Anstey Park - weed control, garden bed maintenance/Koomal Village - edge and mow lawns/Football oval - broadleaf weed control/Cricket - turf nursery maintenance/Tennis pavilion - edge and mow lawns.
23	Administration - weed control, garden bed maintenance/APU - edge and mow lawns/Football and Hockey ovals - mow, weed control, mower maintenance.
24	Town site - Weed control on verges, laneways and vacant blocks/Football and Hockey oval - mow/GSC oval surrounds - Rake and remove leaves, limbs and debris, mow grass around oval surrounds.
25	Railway Tce - weed control on lawns/APU - weed control on lawns, prune shrubs in garden beds/Ovals - Ovals Mower demo in Perth/Cricket turf nursery - weed and mow.
26	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Town site - weed control on street verges and laneways/Football and hockey ovals - mow, liquid fertilise and line mark.
27	WEEKEND
28	WEEKEND
29	Public Toilets and War Memorial-rake and tidy/Town streets - pick up fallen limbs and general refuse-rake and remove leaves from drains and kerbs/Administration - weed control in lawn/Anstey park - weed control in lawn.
30	Hockey oval - mow, weed control and line mark/Town site - weed control on street verges and laneways/Cemetery - weed control.



13.6 PLANT REPORT
 David Long

				KMS/HRS
FLEET	MACHINE	KM/HRS START	KM/HRS END	COMPLETED
GO 009	UTE	51091	-56439	-5348
GO 010	J DEERE	0	0	0
GO 015	UTE	72068	-76572	-4504
GO 016	UTE	199898	-199950	-52
GO 017	TRUCK	234002	-234002	0
GO 018	TRUCK	265962	-266015	-53
GO 019	TRUCK	552487	-554778	-2291
GO 020	12 H	16206	-16284	-78
GO 021	12 M	9712	-9786	-74
GO 022	STEEL ROLLER	4854	-4854	0
GO 023	UTE	207039	-208375	-1336
GO 024	LOADER	9701	-9701	0
GO 025	MULTI ROLLER	2727	-2732	-5
GO 026	UTE	189316	-193450	-4134
GO 027	TRUCK	277030	-277455	-425
GO 028	BACKHOE	710	-733	-23
GO 033	COASTER BUS	183710	-183740	-30
GO 034	MASSEY	7142	-7155	-13
GO 037	UTE	107983	-108140	-157
GO 038	UTE	171258	-172355	-1097
GO 039	UTE	284771	-285194	-423
GO 040	SUV	0	0	0
GO 041	TRUCK	234589	-234870	-281
GO 042	UTE	127023	-128604	-1581
GO 183	UTE	92500	-96160	-3660
GO SHIRE	SUV	0	0	0
GO SHIRE1	BUS	293993	-294005	-12
GO 015	UTE	service		
GO 023	UTE	windscreen		
GO 026	UTE	Fuel filter	service	tail lights
GO 033	COASTER BUS	service		
GO 039	UTE	RH window	-windscreen	
GO 042	UTE	new tyres		

SHIRE OF GOOMALLING

AGENDA FOR ORDINARY MEETING OF COUNCIL
WEDNESDAY 21 SEPTEMBER 2022



GO SHIRE 1	BUS	service		
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13.7 BUILDING MAINTENANCE REPORT
 David Long

BUILDING MAINTENANCE AUGUST 2022

DATE	WORK DESCRIPTION
1	Pump station-Maintenance/Imhoff-maintenance/Jennacubbine East - remove fallen tree/Water Trailer - rewire/Quinlan st - remove fallen tree branches.
2	Anstey Park - Upgrade works/32 Eaton st - Patching and painting maintenance of internal walls and ceilings.
3	Anstey Park - Upgrade works/32 Eaton st - Patching and painting maintenance of internal walls and ceilings.
4	Anstey Park - Upgrade works/Grange st - Table drainage de silting works.
5	Pump station-Maintenance/Imhoff-maintenance/High st - repair broken sign/John Deere tractor - fit slasher mower to 3 point linkage.
6	WEEKEND
7	WEEKEND
8	Pump station-Maintenance/Imhoff-maintenance/39 A Railway Tce -Repair rear door, water leak in roof/Tennis pavilion - sealed all toilets seals, repaired leaking shower heads and toilet cisterns, investigate odour issues.
9	Staff Leave
10	Refuse site - Remove surplus items from tip shop/Caravan Park - Clear sewer blockage/43 Throssell - House inspection/Tennis courts - Drainage improvements on court surrounds/Forward st - Patch pot holes in bitumen with cold mix.
11	Railway Station - Install stainless steel bench/Tennis courts - Drainage improvements on court surrounds/Depot - Install tap for chemical storage compound.
12	Pump station-Maintenance/Imhoff-maintenance/Town site - Clean out blocked culverts with excavator/Sewer - clear blockage at gym/Railway Tce Public toilets - clear blockage.
13	WEEKEND
14	WEEKEND
15	Pump station-Maintenance/Imhoff-maintenance/Dowerin - Konnongorring rd. - clear blocked culverts/Calingiri rd. - remove fallen tree/Refuse site - fence off used household refuse area.
16	Mortlock Lodge - Unit 3 - Internal refurbishment/Sewer - Contract works - sewer line replacement from Calingiri road to sewer dam/Jennacubbine hall - clean and restock for hire event.
17	Mortlock Lodge - Unit 3 - Internal refurbishment/Imhoff - maintenance/Sewer - Contract works - sewer line replacement from Calingiri road to sewer dam/
18	Sewer - Contract works - sewer line replacement from Calingiri road to sewer dam/Town site - Completed Works Request deliveries/Mortlock Lodge - Unit 3 - Internal refurbishment/Caravan Park - Install new tap for caravan bay/Golf club - Repair leaking toilets, kitchen cupboard doors.
19	Pump station-Maintenance/Imhoff-maintenance/Sewer - Contract works - sewer line replacement from Calingiri road to sewer dam.
20	WEEKEND
21	WEEKEND
22	Pump station-Maintenance/Imhoff-maintenance/Museum - Replace broken barge board/Residential Buildings - Property inspections
23	Residential Buildings - Property inspections/Museum - Replace broken barge board.
24	Golf club - Repair water leaks/Mortlock Lodge - Unit 3 - Internal refurbishment/Sewer - Clear



	blockage on Wollyam St.
25	Sewer - Clear blockage on Lockyer st/Mortlock Lodge - Unit 3 - Internal refurbishment.
26	Pump station-Maintenance/Imhoff-maintenance/Mortlock Lodge - Unit 3 - Internal refurbishment/Caravan Park - Ensuite door locks/41 Throssell - Mow rear yard/Works depot - Shed maintenance and clean up.
27	WEEKEND
28	WEEKEND
29	Pump station-Maintenance/Imhoff-maintenance.
30	Sewer - Repair sewer line blockage from gym and change rooms, Lockyer st.
31	Caravan Park - toilet leaks/Mortlock Lodge - Unit 3 - Internal refurbishment/GSC ovals - Assist with line marking, general works in preparation for second semi-finals.

13.8 COMMUNITY DEVELOPMENT OFFICER
Tahnee Bird

MEETINGS/EVENTS/TRAINING

GRANTS

STATUS	DETAILS
Current	<p>WABN High Street (design and construct)</p> <ul style="list-style-type: none"> • Increase in project costs similar to Bowen Street due to power poles proximity to footpath • Request to use approved fund for Quinlan Street renewal instead (between Forrest and James Street) • Request has been denied • Looking at staging the project over the end of 2021/22 and the start if 2022-23 with additional funding being sought from DoT. • Still awaiting feedback from DoT regarding Funding reallocation
Current	<p>FRRR “In a Good Place” Program – Maangart Yorga Program</p> <ul style="list-style-type: none"> • Project underway, facilitators booked for the 12 months • Next workshop TBC

OPEN PROJECTS/EVENTS

STATUS	DETAILS
Current/ongoing	<p>Pioneers’ Pathway</p> <p>PP is a collaborative marketing initiative marketed in the Australia’s Golden Outback – from Toodyay to Merredin following the prospecting route to the Goldfields.</p>



	<p><u>Storytowns project</u> Both Wheatbelt Way and Pioneers' Pathway have received funding from Regional Arts WA to develop geo-located podcasts for each town along these drive-trails. This is a great initiative that we will be working jointly on across both drive-trails to promote our region and provide visitors with information.</p> <p>A total of 12 podcasts will be developed by the company Storytowns. By September 2022 each of these towns will have a 7min podcast produced.</p> <p>7-Minute Podcast Outline:</p> <p>See Goomalling script here: Goomalling Story Towns Script</p>
<p>Ongoing/ongoing</p>	<p>Experience Perth – Avon Tourism</p> <p>Due to the successful working partnerships Council have agreed to engage Experience Perth for 2022-23 for Avon Valley collaborative marketing.</p> <ul style="list-style-type: none"> - briefing document for photoshoot scheduled for 29 September 2022- COMPLETE - 2023 Planner to be created by Scamper (creators of the Avon Valley Brand) - Distribution of brochures via Vanguard - 2023 Caravan and Camping Show
<p>Planning/Consultation</p>	<p>Anstey Park Revitalisation</p> <p>Focus Group</p> <ul style="list-style-type: none"> • Kaye Boulden • Louise Barker • Loretta Johnston • Jess Lantzke • Jessica Wilkes • Cr Casey Butt



	<ul style="list-style-type: none"> • Cr Christine Barratt <hr/> <ul style="list-style-type: none"> - Funding allocation from LRCI Fund to be confirmed since funds were due to be spent 30 June 2022. - Potential suppliers requested to requote due to price increases. - Dave and I will be measuring and marking the area and mapping potential play elements, pathways, landscaping etc. - Consultation carried out with Goomalling Playgroup mums in addition to the focus group for younger children perspective. Focus group overall not offering a lot of insight with only a couple of members communicating preferences. - EOI for salvaged goods currently open (two received for floorboards) - Goomalling historical society received CWA memorabilia - CWA toilets don't have septic or sewerage connection, current set up is just an open sump. The toilet will be connected to sewerage prior to being open to public.
Current	<p>Goomalling Community Opshop – Activate Goomalling Grant Program is currently OPEN One application received to date</p>

PIPELINE PROJECTS	
STATUS	DETAILS
On hold	Reconciliation Action Plan
On hold	Old Native Reserve preservation and interpretation
On hold	Ballardong Koort (heart) Mural
On hold	Healing Stories from Koomal
On hold	She Did
On hold	Youth Space
On hold	Cricket training nets
On hold	Oval lighting

ATTACHMENTS
Nil



Councillor support for community events

Just a reminder that as elected community representatives it would be great to see Councillors support community events, through schools, clubs and community organisations.

Upcoming events

Goomalling CRC – Harvest Festival, Saturday 15 October

Sacred Heart – 110 years, 23 September

14. MEETING CLOSURE